



## Building and/or Works Permit Application

Airports Act 1996

Airports (Building Control) Regulations 1996

Regulation 2.02

**Building Activity Number (BAN):** BAN-22-PER-0030

**Application ID:** 22-PER-0000000362

### Applicant Information

**Legal Entity Name:** s47G(1)(a)

**ABN:** s47G(1)(a)

**ACN:** (Not Provided)

**Address Line 1:** s47G(1)(a)

**Address Line 2:** (Not Provided)

**Town/Suburb:** s47G(1)(a)

**State/Territory:** s47  
G(1)  
(a)

**Postcode:** s47G(1)(a)

**Contact Person:** s47F

**Primary Phone:** s47F

**Secondary Phone:** (Not Provided)

**Email:** s47F s47G(1)(a)



Submitter Information	
<b>Legal Entity Name:</b>	s47G(1)(a)
<b>ABN:</b>	s47G(1)(a)
<b>ACN:</b>	(Not Provided)
<b>Address Line 1:</b>	s47G(1)(a)
<b>Address Line 2:</b>	(Not Provided)
<b>Town/Suburb:</b>	s47G(1)(a)
<b>State/Territory:</b>	s47 G(1) (a)
<b>Postcode:</b>	s47G(1)(a)
<b>Contact Person:</b>	s47F
<b>Primary Phone:</b>	s47F
<b>Secondary Phone:</b>	(Not Provided)
<b>Email:</b>	s47F s47G(1)(a)

Sublessee/Occupier/Tenant	
<b>Sublessee/Occupier/Tenant Name:</b>	(Not Provided)
<b>Address Line 1:</b>	(Not Provided)
<b>Address Line 2:</b>	(Not Provided)
<b>Town/Suburb:</b>	(Not Provided)
<b>State/Territory:</b>	(Not Provided)
<b>Postcode:</b>	(Not Provided)

Location of Activity	
<b>Airport:</b>	Perth
<b>Location of Activity:</b>	Storage King Perth - 19 Bungana Ave, Perth Airport WA 6105



### Building Activity Details

<b>Building Activity Description:</b>	<ul style="list-style-type: none"> <li>• Supply and install flashing to building 1</li> <li>• Remove and replace 60lm flashings to the rear of the building</li> </ul>
<b>Estimated Duration (calendar days):</b>	5
<b>Estimated Value (\$):</b>	14,608
<b>Total Building Work Floor Area (sq. m):</b>	58
<b>Total Site Area (sq. m):</b>	10,470



<b>Contractors</b>
(No contractor details provided)



Expert Consultants
(No expert consultant details provided)

**Performance Solution**

Is the proposed building activity the subject of a performance solution, or where the proposed building activity involves an existing building, is the existing building the subject of a performance solution?

No

**Description of the Performance Solution:**

(Not Provided)



## Building and/or Works Permit Application

Airports Act 1996

Airports (Building Control) Regulations 1996

Regulation 2.02

**Building Activity Number (BAN):** BAN-23-PER-0020

**Application ID:** 23-PER-0000000626

### Applicant Information

**Legal Entity Name:** s47G(1)(a)

**ABN:** s47G(1)(a)

**ACN:** (Not Provided)

**Address Line 1:** s47G(1)(a)

**Address Line 2:** (Not Provided)

**Town/Suburb:** s47G(1)(a)

**State/Territory:** s47  
G(1)  
(a)

**Postcode:** s47G(1)(a)

**Contact Person:** s47F

**Primary Phone:** s47F

**Secondary Phone:** (Not Provided)

**Email:** s47F s47G(1)(a)



Submitter Information	
Legal Entity Name:	s47G(1)(a)
ABN:	s47G(1)(a)
ACN:	(Not Provided)
Address Line 1:	s47G(1)(a)
Address Line 2:	(Not Provided)
Town/Suburb:	s47G(1)(a)
State/Territory:	s47 G(1) (a)
Postcode:	s47G(1)(a)
Contact Person:	s47F
Primary Phone:	s47F
Secondary Phone:	(Not Provided)
Email:	s47F s47G(1)(a)

Sublessee/Occupier/Tenant	
Sublessee/Occupier/Tenant Name:	Storage King
Address Line 1:	19 Bungana Avenue
Address Line 2:	(Not Provided)
Town/Suburb:	Perth Airport
State/Territory:	WA
Postcode:	6105

Location of Activity	
Airport:	Perth
Location of Activity:	19 Bungana Ave Perth Airport WA 6105





### Building Activity Details

<b>Building Activity Description:</b>	Upgrade of Existing Storage King Facility, painting of facade and storage unit doors, refurbishment of internal office, retail area, incl FF + E
<b>Estimated Duration (calendar days):</b>	30
<b>Estimated Value (\$):</b>	457,279
<b>Total Building Work Floor Area (sq. m):</b>	NaN
<b>Total Site Area (sq. m):</b>	NaN



<b>Contractors</b>
(No contractor details provided)



Expert Consultants	
Expert Consultant 1 Details	
<b>Name:</b>	s47F
<b>Company Name:</b>	s47G(1)(a)
<b>Registration/Licence/Accreditation Number:</b>	(Not Provided)
<b>Building Activity Type:</b>	Works
<b>Expert Type:</b>	Other
<b>Other Expert Type Description:</b>	Main point of contact on site - Project Manager

**Performance Solution**

Is the proposed building activity the subject of a performance solution, or where the proposed building activity involves an existing building, is the existing building the subject of a performance solution?

Unsure

**Description of the Performance Solution:**

(Not Provided)



## Building Permit

Airports Act 1996

Airports (Building Control) Regulations 1996

Regulation 2.11

**Building Activity Number (BAN):** BAN-22-PER-0030

**Airport Name:** Perth

### Approval

**Effective Until:** 17-Mar-2023  
**Stage:** (Not Provided)  
**Approval Date:** 17-Mar-2022  
**Issued By:** s22(1)(a)(ii)  
 Airport Building Controller

### Issued to

**Legal Entity Name:** s47G(1)(a)  
**ABN:** s47G(1)(a)  
**Address Line 1:** s47G(1)(a)  
**Address Line 2:** (Not Provided)  
**Town/Suburb:** s47G(1)(a)  
**State/Territory:** s47  
**Postcode:** s47G(1)(a)

### Attention of

**Name:** s47F  
**Primary Phone:** s47F  
**Secondary Phone:** (Not Provided)  
**Email:** s47F s47G(1)(a)

### Location of Activity

Storage King Perth - 19 Bungana Ave, Perth Airport WA 6105

### Building Activity Description

- Supply and install flashing to building 1
- Remove and replace 60lm flashings to the rear of the building

**Total Estimated Value (\$):** 14,608.00  
**Total Floor Area (sq. m):** 58  
**Total Site Area (sq. m):** 10,470  
**Mandatory Inspection Stages:** n/a

### Building Classification(s)

(No BCA classification details provided)

### Contractors

(No contractor details provided)



### Expert Consultants

(No expert consultant details provided)

### Sublessee/Occupier/Tenant

**Sublessee/Occupier/Tenant Name:** (Not Provided)  
**Address Line 1:** (Not Provided)  
**Address Line 2:** (Not Provided)  
**Town/Suburb:** (Not Provided)  
**State/Territory:** (Not Provided)  
**Postcode:** (Not Provided)

### Endorsed Documents

- National Roof Care - Roof Inspection Report 07.09.202

### Conditions

This Building Permit is subject to the following 2 conditions:

1. This approval does not relieve the applicant /operator from obtaining any necessary approvals or licences from the relevant authorities under other legislation.
2. Where applicable, comply with the requirements of AS 1562.1

### Advisory Notes

(Not Provided)

Airport Building Controllers (ABCs) are appointed by the Secretary of the Department of Infrastructure, Transport, Regional Development and Communications (the Department) under the Airports (Building Control) Regulations 1996 (the Regulations) to exercise the powers and functions which the Regulations vest in the ABCs, in relation to building control at federally leased airports. ABCs are also appointed as authorised officers by the Secretary under the *Airports Act 1996* to exercise certain powers under this Act, in relation to federally leased airports.

ABCs are contracted private companies, or employees or officers of such companies, and act independently of the Department. However, ABCs consult with the Department as necessary on certain matters, such as the interpretation of the Regulations.



# Building Permit

Airports Act 1996

Airports (Building Control) Regulations 1996

Regulation 2.11

**Building Activity Number (BAN):** BAN-23-PER-0020

**Airport Name:** Perth

## Approval

**Effective Until:** 28-Mar-2025  
**Stage:** (Not Provided)  
**Approval Date:** 28-Mar-2023  
**Issued By:** s22(1)(a)(ii)  
 Airport Building Controller

## Issued to

**Legal Entity Name:** s47G(1)(a)  
**ABN:** s47G(1)(a)  
**Address Line 1:** s47G(1)(a)  
**Address Line 2:** (Not Provided)  
**Town/Suburb:** s47G(1)(a)  
**State/Territory:** s47  
**Postcode:** s47G(1)(a)

## Attention of

**Name:** s47F  
**Primary Phone:** s47F  
**Secondary Phone:** (Not Provided)  
**Email:** s47F s47G(1)(a)

## Location of Activity

Storage King - 19 Bungana Ave Perth Airport WA 6105

## Building Activity Description

Upgrade of Existing Storage King Facility, painting of facade and storage unit doors, refurbishment of internal office, retail area, incl FF + E  
**Total Estimated Value (\$):** 457,279.00  
**Total Floor Area (sq. m):** (Not Provided)  
**Total Site Area (sq. m):** (Not Provided)  
**Mandatory Inspection Stages:** On Completion and Prior to Occupancy/Use (of the Office)

## Building Classification(s)

### BCA Classification 1 Details

**Part of Building:** Existing Office  
**Classification:** 5  
**Description:** Office Administration



<b>Number of Occupants:</b>	(Not Provided)
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Contractors	
<b>Contractor 1 Details</b>	
<b>Legal Name:</b>	To Be Advised - see Condition #10
<b>ABN:</b>	(Not Provided)
<b>Building Activity Type:</b>	Building
<b>Registration/Licence/Accreditation Number:</b>	to be advised
<b>Address Line 1:</b>	to be advised
<b>Address Line 2:</b>	(Not Provided)
<b>Town/Suburb:</b>	tba
<b>State/Territory:</b>	WA
<b>Postcode:</b>	6000
<b>Contact Person:</b>	
<b>Primary Phone:</b>	0123456789
<b>Secondary Phone:</b>	(Not Provided)
<b>Email:</b>	tobeadvised@mail.com

Expert Consultants	
<b>Expert Consultant 1 Details</b>	
<b>Name</b>	s47F
<b>Company Name:</b>	s47G(1)(a)
<b>Registration Number:</b>	(Not Provided)
<b>Building Activity Type:</b>	Works
<b>Expert Type:</b>	Other
<b>Other Description:</b>	Main point of contact on site - Project Manager

Sublessee/Occupier/Tenant	
<b>Sublessee/Occupier/Tenant Name:</b>	Storage King
<b>Address Line 1:</b>	19 Bungana Avenue
<b>Address Line 2:</b>	(Not Provided)
<b>Town/Suburb:</b>	Perth Airport
<b>State/Territory:</b>	WA
<b>Postcode:</b>	6105

Endorsed Documents	
BN - Fixtures & Finishes Schedule - BP1 14 09 22.pdf	
MDS - Structural signed 16 02 23.pdf	Temporary - Builder's Site Office Plan.pdf

Conditions
<p>This Building Permit is subject to the following 12 conditions:</p> <ol style="list-style-type: none"> <li>1. Emergency lighting and exit signage must be provided/retained in accordance with BCA E4.2 and E4.5. Design and operation of the emergency lighting and exit signs must comply with AS/NZS 2293.1.</li> <li>2. The fire hydrant and fire hose reel systems are to remain operational, in accordance with AS2419.1 and AS 2441.</li> <li>3. Fire hazard properties of materials within the building must comply with BCA Specification C1.10.</li> </ol>





4. All existing smoke detectors and exits to remain operational and must not be obstructed by hoarding erection and during building works.
5. Fire extinguishers in accordance with BCA E1.6 & E1.9 must be provided/maintained.
6. This approval does not relieve the applicant /operator from obtaining any necessary approvals or licences from the relevant authorities under other legislation.
7. Comply with BCA Parts J6, J7 & J8, where applicable.
8. In addition to the disabled access and facility requirements of the Building Code of Australia, it is the responsibility of the building owner/developer to ensure compliance with the Disabilities Discrimination Act 1992. Further information may be obtained from the Disability Services Commission. (it is noted there are existing non-compliances with regarding to the circulation spaces)
9. Electrical work to comply with AS/NZS 3000 and Western Power's requirements and rules.
10. **Prior to commencing work**, the nominated building contractor/builder must provide to the ABC a written credential evidencing the Builder/Contractor is a WA Registered Builder under the Building Services (Registration) Act 2011.
11. This Permit is to be read in conjunction with conditions outlined in Perth Airport's Consent Approval No: 017-23; and
12. Prior to commencement of works, the contractor is required have a mandatory WHS Works Planning Meeting with your Project Facilitator, to discuss the scope of works to ensure clarity in relation to how High-Risk Activity's (HRA) and Energy Isolation will be controlled. Please contact the Project Facilitator, refer to the Consent Approval for contact details, to arrange a suitable time to have the WHS Works Planning Meeting.

### Advisory Notes

(Not Provided)

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# STORAGE KING PERTH AIRPORT PROPOSED FACADE UPGRADE

## BUILDING PERMIT

19 BUNGANA AVE, PERTH AIRPORT, WA 6105

DRAWING LIST	
SHEET NUMBER	SHEET NAME
DA00.01	TITLE SHEET, LOCATION PLAN & DRAWING LIST
DA00.04	SAFETY IN DESIGN STATEMENT
DA06.01	PROPOSED WORKS PLAN
DA09.01	DEMOLITION AND PROPOSED ELEVATIONS SHEET 1
DA09.02	DEMOLITION AND PROPOSED ELEVATIONS SHEET 2
DA60.01	SIGNAGE DETAILS
DA100.85	PHOTOMONTAGE



19 BUNGANA AVE, PERTH AIRPORT, WA 6105

SITE LOCATION MAP

BUILDING PERMIT

ISSUE	DATE	DESCRIPTION
BP-01	27.10.22	BUILDING PERMIT
DA-01	21.07.22	DEVELOPMENT APPLICATION

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Coordinated Reference Drawings	
Discipline	Company
SURVEY	
STRUCTURE	
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**

**ABACUS PROPERTY GROUP**  
LEVEL: 34, AUSTRALIA SQUARE  
264 - 276 GEORGE ST,  
SYDNEY NSW 2000

**Project Manager**

**HENSON PROJECTS**  
PROJECT MANAGEMENT & CONSTRUCTION SERVICES

**Builder**

**Architect**

**BN**  
Architecture  
Urban Design  
Masterplanning  
Graphics  
Interiors

BN Group Pty Ltd  
82 Alexander Street  
Crows Nest, NSW 2085  
ABN 43 092 960 499

T +61 2 9437 0511  
F +61 2 9437 0522  
www.bngrrouponline.com  
sydney@bngrrouponline.com

**Project**

**STORAGE KING PERTH AIRPORT - SIGNAGE DA**

19 Bungana Ave, Perth Airport, WA 6105

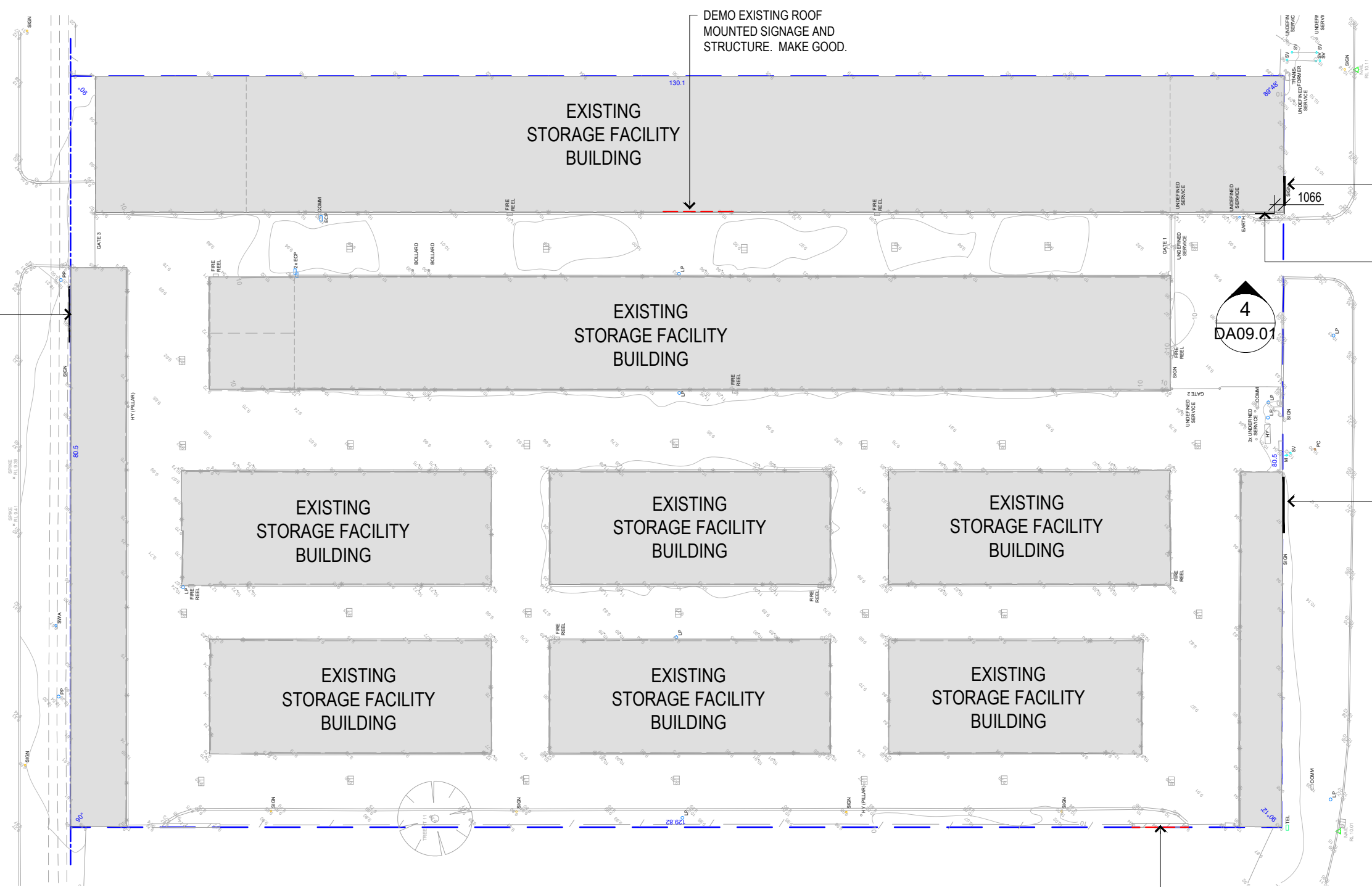
**Sheet name**

**TITLE SHEET, LOCATION PLAN & DRAWING LIST**

Scale @ A3: AS INDICATED  
Project No.: S2006  
Drawn By: S47F Checked By: S47F

SHEET TYPE	
Drawing No.	Stage - Rev
DA00.01	BP - 01





NEW NON ILLUMINATED SIGNAGE 3D SIGNAGE TO EXISTING FACADE SIGN 4

2  
DA09.02

DEMO EXISTING ROOF MOUNTED SIGNAGE AND STRUCTURE. MAKE GOOD.

NEW NON ILLUMINATED SIGNAGE 3D SIGNAGE TO EXISTING FACADE SIGN 1

NEW NON ILLUMINATED SIGNAGE 3D SIGNAGE TO EXISTING FACADE SIGN 2

2  
DA09.01

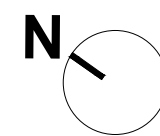
NEW NON ILLUMINATED SIGNAGE 3D SIGNAGE TO EXISTING FACADE SIGN 3

DEMO EXISTING SIGNAGE TO EXISTING BLADE WALL.

1

PROPOSED WORKS PLAN

1:500@A3



BUILDING PERMIT

ISSUE	DATE	DESCRIPTION
BP-01	27.10.22	BUILDING PERMIT
DA-01	21.07.22	DEVELOPMENT APPLICATION

All dimensions to be checked on site, written dimensions only to be used. Refer to all detail drawings, structural, mechanical and services drawings before commencing work. Refer any discrepancies to the Architect. Do not scale from drawings. Copyright of the design shown herein is retained by BN Group Pty Ltd. Written authority is required for any reproduction. Completion of the Quality Record is evidence that the design and drawing have been verified as conforming with the requirements of the Project Quality Plan. Where the Quality Record is incomplete, all information on the drawing is intended for preliminary purpose only as it is unchecked.

Coordinated Reference Drawings	
Discipline	Company
SURVEY	
STRUCTURE	
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**  
**Abacus** ABACUS PROPERTY GROUP  
 LEVEL 34, AUSTRALIA SQUARE  
 264 - 276 GEORGE ST.  
 SYDNEY NSW 2000

**Project Manager**  
 HENSON PROJECTS  
 PROJECT MANAGEMENT & CONSTRUCTION SERVICES

**Builder**

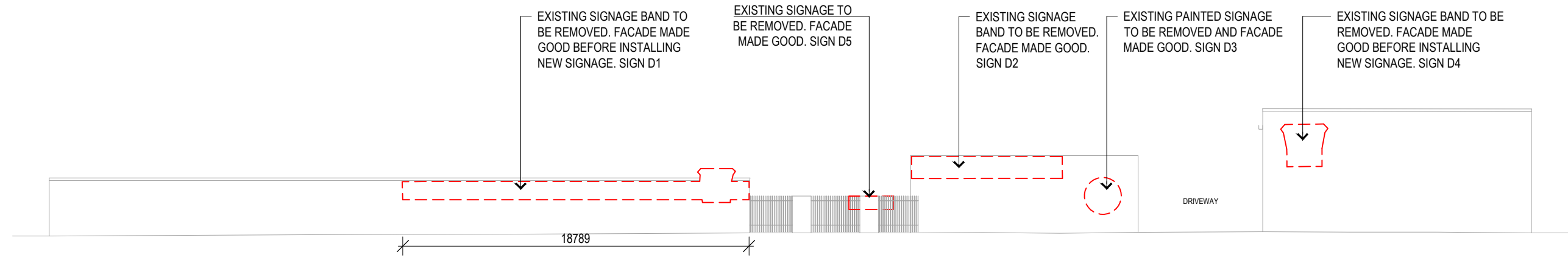
**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd  
 82 Alexander Street  
 Crows Nest, NSW 2065  
 ABN 43 092 960 499  
 +61 2 9437 0511  
 +61 2 9437 0522  
 www.bngrrouponline.com  
 sydney@bngrrouponline.com

**Project**  
 STORAGE KING PERTH AIRPORT - SIGNAGE DA  
 19 Bungana Ave, Perth Airport .WA 6105

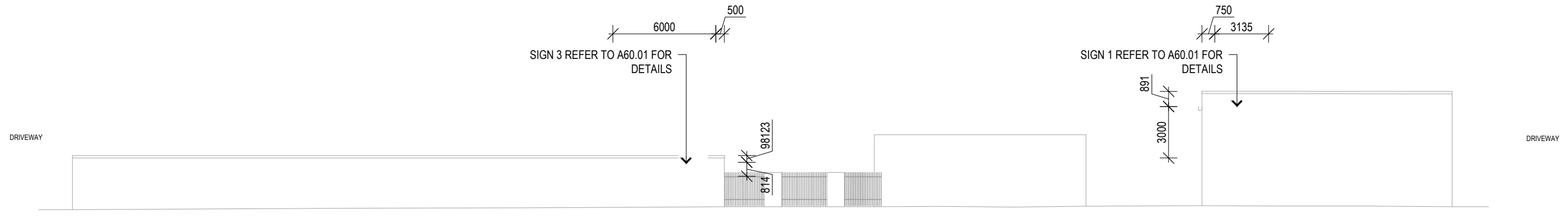
**Sheet name**  
 PROPOSED WORKS PLAN

Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: s47F Checked By: s47F

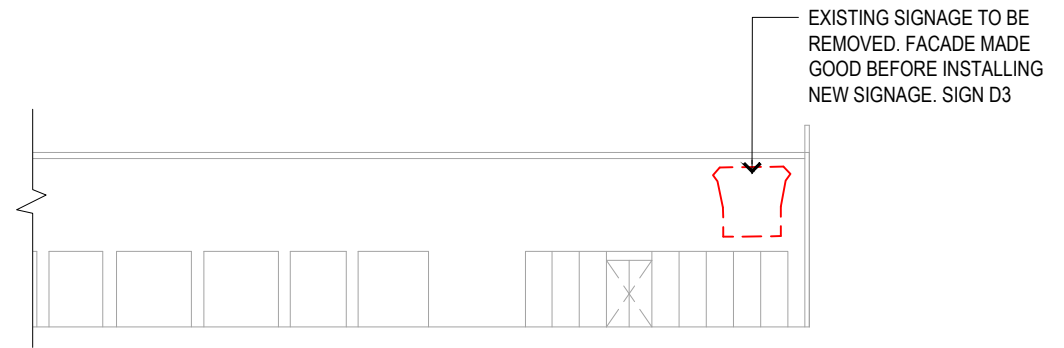
SHEET TYPE	
Drawing No.	Stage - Rev
DA06.01	BP - 01



1 EXISTING ELEVATION- SOUTH WEST  
1:200@A3



2 PROPOSED ELEVATION- SOUTH EAST  
1:200@A3



3 EXISTING ELEVATION- NORTH EAST  
Scale: 1:200 @ A3



4 PROPOSED ELEVATION- NORTH EAST  
Scale: 1:200 @ A3

FINISHES SWATCHES



SIGNAGE SCHEDULE

EXISTING SIGNAGE TO BE REMOVED				
	AREA	WIDTH X HEIGHT	DEPTH	ILLUMINATION
D1	18.8m <sup>2</sup>	18.8 x 1.0m	75mm	NON ILLUMINATED
D2	9.84m <sup>2</sup>	8.2 x 1.2m	75mm	NON ILLUMINATED
D3	1.0m <sup>2</sup>	1.0 x 1.0m	75mm	NON ILLUMINATED
D4	5.75m <sup>2</sup>	2.5 x 2.3m	75mm	NON ILLUMINATED
D5	1.68m <sup>2</sup>	2.4 x 0.7m	75mm	NON ILLUMINATED

NEW SIGNAGE				
	AREA	WIDTH X HEIGHT	DEPTH	ILLUMINATION
SIGN 1	9.3m <sup>2</sup>	3.1 x 3.0m	75mm	NON ILLUMINATED
SIGN 2	2.94m <sup>2</sup>	2.1 x 1.4m	75mm	NON ILLUMINATED
SIGN 3	4.8m <sup>2</sup>	6.0 x 0.8m	75mm	NON ILLUMINATED

BUILDING PERMIT

ISSUE	DATE	DESCRIPTION
BP-01	27.10.22	BUILDING PERMIT
DA-01	21.07.22	DEVELOPMENT APPLICATION

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Coordinated Reference Drawings	
Discipline	Company
SURVEY	
STRUCTURE	
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**  
**Abacus PROPERTY GROUP**  
 LEVEL: 34, AUSTRALIA SQUARE  
 264-276 GEORGE ST,  
 SYDNEY NSW 2000

**Project Manager**  
**HENSON PROJECTS**  
 PROJECT MANAGEMENT &  
 CONSTRUCTION SERVICES

**Builder**

**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
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 BN Group Pty Ltd  
 82 Alexander Street  
 Crows Nest, NSW 2085  
 ABN 43 092 960 499  
 T +61 2 9437 0511  
 F +61 2 9437 0522  
 www.bngruonline.com  
 sydney@bngruonline.com

**Project**  
**STORAGE KING PERTH AIRPORT - SIGNAGE DA**  
 19 Bungana Ave, Perth Airport, WA 6105

**Sheet name**  
**DEMOLITION AND PROPOSED ELEVATIONS SHEET 1**

Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: s47F Checked By: s47F

SHEET TYPE	
Drawing No.	Stage - Rev
DA09.01	BP - 01

EXISTING SIGNAGE BAND TO BE REMOVED. FACADE MADE GOOD BEFORE INSTALLING NEW SIGNAGE. SIGN D6

EXISTING STREET POLE

DRIVEWAY

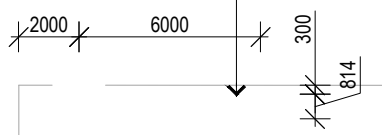


1 EXISTING ELEVATION- NORTH WEST  
1:200@A3

EXISTING STREET POLE

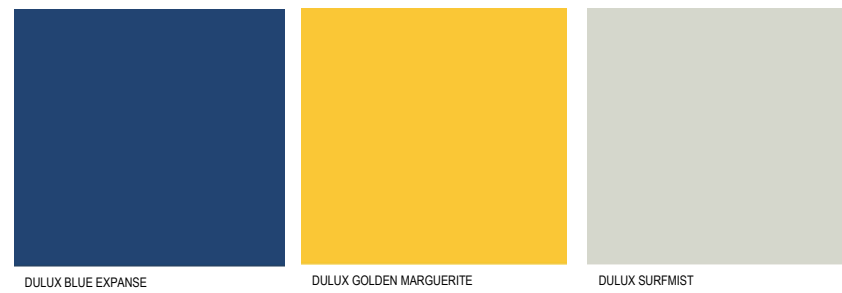
SIGN 4 REFER TO A60.01 FOR DETAILS

DRIVEWAY



2 PROPOSED ELEVATION- NORTH WEST  
1:200@A3

FINISHES SWATCHES



SIGNAGE SCHEDULE

EXISTING SIGNAGE TO BE REMOVED				
	AREA	WIDTH X HEIGHT	DEPTH	ILLUMINATION
D6	18.8m <sup>2</sup>	18.8 x 1.0m	75mm	NON ILLUMINATED

NEW SIGNAGE				
	AREA	WIDTH X HEIGHT	DEPTH	ILLUMINATION
SIGN 4	4.8m <sup>2</sup>	6.0 x 0.8m	75mm	NON ILLUMINATED

BUILDING PERMIT

ISSUE	DATE	DESCRIPTION
BP-01	27.10.22	BUILDING PERMIT
DA-01	21.07.22	DEVELOPMENT APPLICATION

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**Coordinated Reference Drawings**

Discipline	Company
SURVEY	
STRUCTURE	
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**  
**ABACUS PROPERTY GROUP**  
 LEVEL: 34, AUSTRALIA SQUARE  
 264-276 GEORGE ST.  
 SYDNEY NSW 2000

**Project Manager**  
**HENSON PROJECTS**  
 PROJECT MANAGEMENT & CONSTRUCTION SERVICES

**Builder**

**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd  
 82 Alexander Street  
 Crows Nest, NSW 2005  
 ABN 43 092 960 499  
 T +61 2 9437 0511  
 F +61 2 9437 0522  
 www.bngrrouponline.com  
 sydney@bngrrouponline.com

**Project**  
**STORAGE KING PERTH AIRPORT - SIGNAGE DA**  
 19 Bungana Ave, Perth Airport, WA 6105

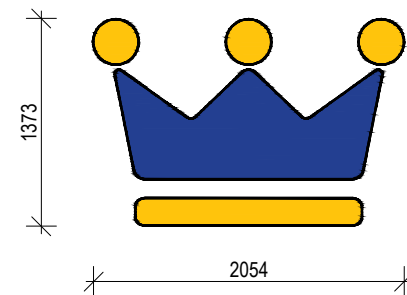
**Sheet name**  
 DEMOLITION AND PROPOSED ELEVATIONS SHEET 2

Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: S47F Checked By: S47F

Drawing No.	Stage - Rev
DA09.02	BP - 01



1 SIGN 1  
NON ILLUMINATED 3D SIGNAGE TO EXISTING FACADE Scale: 1:50@ A3



2 SIGN 2  
NON ILLUMINATED 3D SIGNAGE TO EXISTING FACADE Scale: 1:50@ A3



3 SIGN 3 AND SIGN 4  
NON ILLUMINATED 3D SIGNAGE TO EXISTING FACADE Scale: 1:50@ A3

BUILDING PERMIT

ISSUE	DATE	DESCRIPTION
BP-01	27.10.22	BUILDING PERMIT
DA-01	21.07.22	DEVELOPMENT APPLICATION

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**Coordinated Reference Drawings**

Discipline	Company
SURVEY	
STRUCTURE	
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**  

**ABACUS PROPERTY GROUP**  
 LEVEL 34, AUSTRALIA SQUARE  
 264 - 276 GEORGE ST.  
 SYDNEY NSW 2000

**Project Manager**  
**HENSON PROJECTS**  
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**Project**  
**STORAGE KING PERTH AIRPORT - SIGNAGE DA**  
 19 Bungana Ave, Perth Airport, WA 6105

**Sheet name**  
**SIGNAGE DETAILS**

Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: S47F Checked By: S47F

SHEET TYPE	
Drawing No.	Stage - Rev
DA60.01	BP - 01





1 PHOTOMONTAGE



2 PHOTOMONTAGE



3 PHOTOMONTAGE



4 PHOTOMONTAGE

BUILDING PERMIT

ISSUE	DATE	DESCRIPTION
BP-01	27.10.22	BUILDING PERMIT
DA-01	21.07.22	DEVELOPMENT APPLICATION

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Discipline	Company
SURVEY	
STRUCTURE	
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**  
**Abacus PROPERTY**  
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**Project**  
 STORAGE KING PERTH  
 AIRPORT - SIGNAGE DA  
 19 Bungana Ave, Perth Airport, WA 6105

**Sheet name**  
 PHOTOMTAGES

Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: S47F Checked By: S47F

SHEET TYPE	
Drawing No.	Stage - Rev
DA100.85	BP - 01

Released under the Freedom of Information Act 1982 by the Department of Infrastructure, Transport, Regional Development, Planning and Public Works



# STORAGE KING

## RETAIL SPACE

19 BUNGANA AVE, PERTH AIRPORT WA 6105

PREPARED BY BN GROUP PTY LTD  
82 ALEXANDER STREET, CROWS NEST NSW 2065

FOR ABACUS PROPERTY GROUP

PROJECT NO. : S2006

### WORKPLACE HEALTH & SAFETY STATEMENT

STATUS	DATE
WORKPLACE HEALTH & SAFETY STATEMENT COMPLETED - DISCUSSED WITH & PROVIDED TO CLIENT ALONG WITH DRAWINGS	14.09.2022

Compiled in accordance with Work Health and Safety Act 2011.

#### IDENTIFIED HAZARD AREAS

##### 1. FALLS, SLIPS, TRIPS

###### a) WORKING AT HEIGHTS

###### DURING CONSTRUCTION

Wherever possible, components of this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

###### DURING OPERATION OR MAINTENANCE

Cleaning and maintenance of windows, skylights, walls, roof, gutters, rooftop plant or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders, trestles or fall arrest systems should be used in accordance with relevant codes of practice, regulations and legislation. Any such devices are to comply with AS1657 *Fixed Platforms, Walkways and Ladders*, and AS1891.4 *Industrial Fall Arrest Systems and Devices* as required.

###### b) SLIPPERY OR UNEVEN SURFACES

###### FLOOR FINISHES

Specified finishes have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the architect or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

Surfaces should be selected in accordance with SA HB 198:2014 and AS 4586:2013.

###### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not

moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

##### 2. FALLING OBJECTS

###### LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

###### BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

##### 3. TRAFFIC MANAGEMENT

Parking of vehicles or loading/unloading of vehicles on this site may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

Construction of this building may require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

##### 4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be engaged.

Underground power lines may be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Overhead power lines are near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

##### 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's

specification.

##### 6. HAZARDOUS SUBSTANCES

###### ASBESTOS

Any buildings constructed prior to 1986 are likely to contain asbestos either in cladding material or in fire retardant insulation material. The builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

###### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

###### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

###### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

##### 7. CONFINED SPACES

###### EXCAVATION

N/A

###### ENCLOSED SPACES

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

##### 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.



##### 9. OPERATIONAL USE OF BUILDING

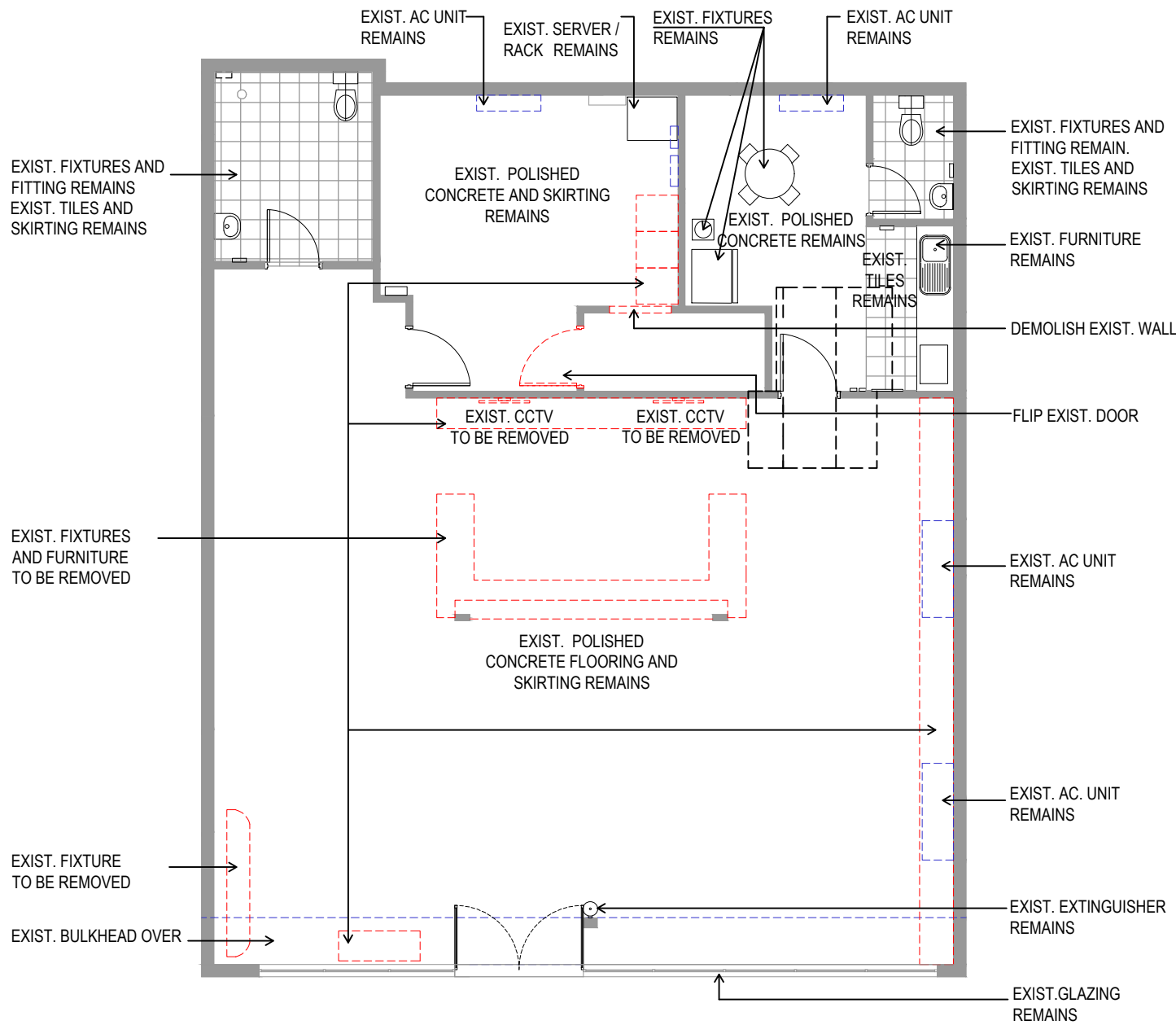
This building has been designed to requirements of the specific building classification identified within the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken, in accordance with the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act. (Where the specific use of the building is not known at the time of the completion of this report and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end user.)

##### 10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with *Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012* and all licensing requirements. All work using Plant should be carried out in accordance with *Code of Practice: Managing Risks of Plant at the Workplace*. All work should be carried out in accordance with *Code of Practice: Managing Noise and Preventing Hearing Loss at Work*. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement.

**BUILDING PERMIT**

TD-03	14.09.22	BUILDING PERMIT
TD-02	06.07.22	TENDER ISSUE
TD-01	17.06.22	TENDER ISSUE
ISSUE	DATE	DESCRIPTION
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Coordinated Reference Drawings		
Discipline	Company	
SURVEY STRUCTURE CIVIL MECHANICAL HYDRAULIC ELECTRICAL LANDSCAPE FIRE		
Client		
	ABACUS PROPERTY GROUP LEVEL 34, AUSTRALIA SQUARE 264 - 276 GEORGE ST, SYDNEY NSW 2000	
Project Manager		
HENSON PROJECTS PROJECT MANAGEMENT & CONSTRUCTION SERVICES		
Builder		
Architect		
	BN Architecture Urban Design Masterplanning Graphics Interiors BN Group Pty Ltd T +61 2 9437 0511 82 Alexander Street F +61 2 9437 0522 Crows Nest, NSW 2065 www.bngrrouponline.com ABN 43 092 960 499 gndmay@bngrrouponline.com	
Project		
STORAGE KING PERTH AIRPORT RETAIL FITOUT 19 Bungana Ave, Perth Airport, WA 6105		
Sheet name		
SAFETY IN DESIGN STATEMENT		
Scale @ A3: AS INDICATED Project No.: S2006 Drawn By: S47F Checked By: S47F		
SHEET TYPE		
Drawing No.	Stage - Rev	
A00.04	TD - 03	



**LEGEND:**

- C CARPET
- CT CERAMIC TILE
- COL STRUCTURAL COLUMN

**DEMOLITION LEGEND:**

- EXISTING
- TO BE REMOVED/ DEMOLISHED
- FLOOR FINISHES AND CEILINGS TO BE REMOVED

**DEMOLITION NOTES:**

1. CONTRACTOR TO VERIFY LEVELS, SETOUT AND DEMOLITION SCOPE PRIOR TO COMMENCEMENT.
2. DEMOLITION WORK TO BE CO-ORDINATED WITH STRUCTURAL AND SERVICES ENG. PRIOR TO COMMENCEMENT.
3. WHERE EXISTING SLAB IS TO BE RETAINED, FINISHES & SETDOWNS TO BE REMOVED/ INFILLED AND MADE GOOD TO STRUCTURAL ENG. SPECIFICATIONS.
4. REFER TO SERVICES ENG. DETAILS FOR ALL DEMOLITION, RELOCATION AND CAP AND SEAL SERVICES WORKS.
5. REFER TO SERVICES ENG. DOCUMENTATION FOR LOCATION OF EXISTING SERVICES.
6. PRESSURE CLEAN ALL EXPOSED EXISTING SURFACES & LEAVE IN SATISFACTORY CONDITION SUITABLE FOR NEW PAINT FINISH.
7. CONTRACTOR TO INSPECT EXISTING ENVELOPE AND IDENTIFY ANY WATER LEAKAGE/ WATERPROOFING ISSUES PRIOR TO DEMOLITION. NOTIFY THE SUPERINTENDENT OF ANY CONCERNS IMMEDIATELY.
8. IF HAZARDOUS MATERIALS ARE FOUND ON SITE NOTIFY THE SUPERINTENDENT IMMEDIATELY.

**1** EXISTING AND DEMOLITION FLOOR PLAN  
1:100

BUILDING PERMIT

ISSUE	DATE	DESCRIPTION
TD-03	14.09.22	BUILDING PERMIT
TD-02	06.07.22	TENDER ISSUE
TD-01	17.06.22	TENDER ISSUE
P-01	20.05.22	PRELIMINARY ISSUE

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Discipline	Company
SURVEY	
STRUCTURE	
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**  
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 264 - 276 GEORGE ST,  
 SYDNEY NSW 2000

**Project Manager**  
**HENSON PROJECTS**  
 PROJECT MANAGEMENT &  
 CONSTRUCTION SERVICES

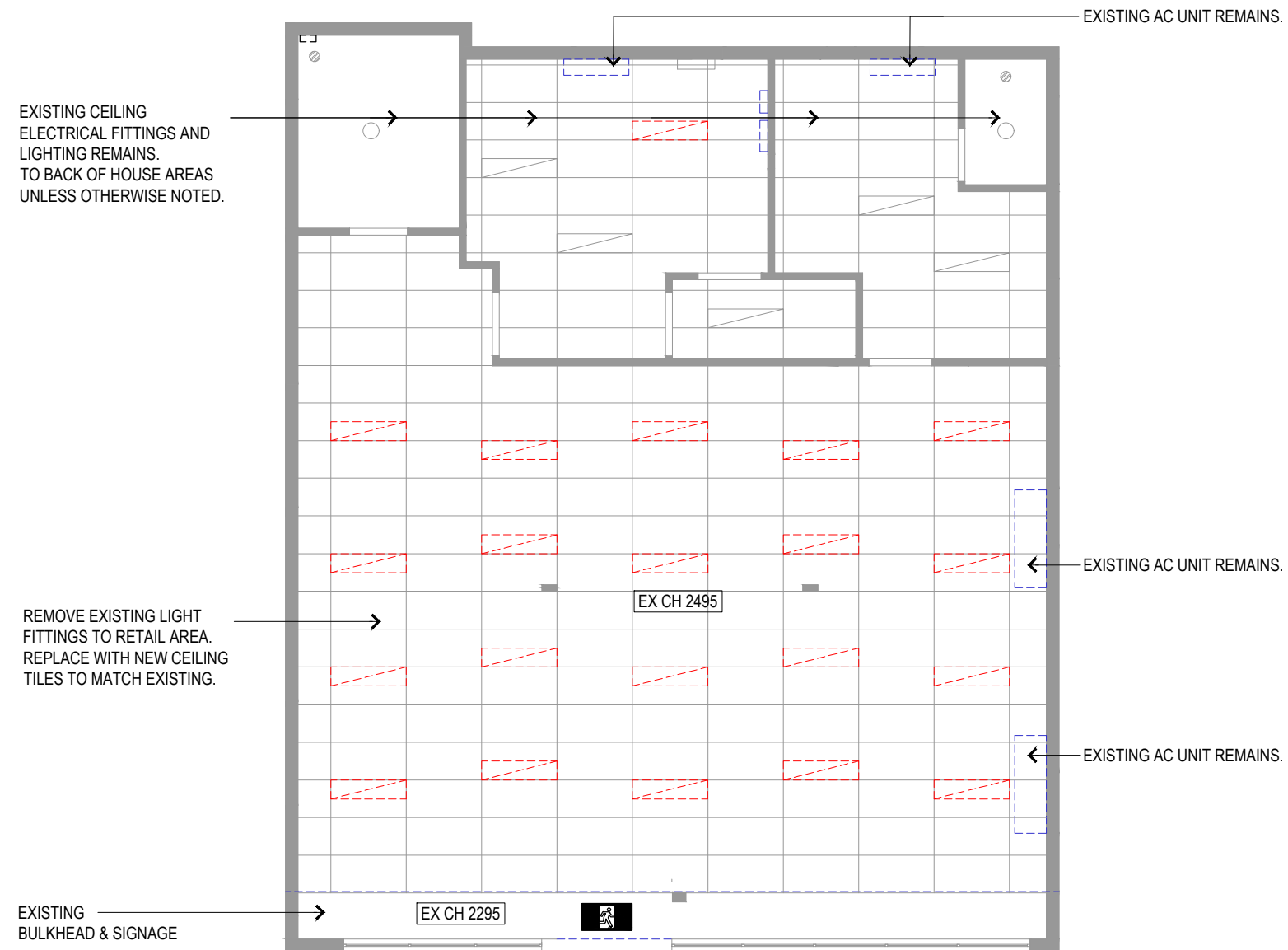
**Builder**

**Architect**  
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 ABN 43 092 960 499 gndray@bngrouponline.com

**Project**  
**STORAGE KING**  
**PERTH AIRPORT RETAIL**  
**FITOUT**  
 19 Bungana Ave, Perth Airport, WA 6105

**Sheet name**  
 EXISTING AND DEMOLITION  
 FLOOR PLAN

Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: s47F Checked By: s47F  
**SHEET TYPE**  
 Drawing No. Stage - Rev  
 A01.01 TD - 03



NOTE: LOCATION OF ALL EXISTING CEILING SERVICES SHOWN IS INDICATIVE ONLY.  
ALL EXISTING SPRINKLERS AND / OR SMOKE DETECTORS TO BE RETAINED / RECONFIGURED TO FIRE SERVICES CONTRACTOR'S REQUIREMENTS.

**LEGEND:**

- C CARPET
- CT CERAMIC TILE
- COL STRUCTURAL COLUMN

**DEMOLITION LEGEND:**

- EXISTING
- TO BE REMOVED/ DEMOLISHED
- FLOOR FINISHES AND CEILINGS TO BE REMOVED

**DEMOLITION NOTES:**

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**1** EXISTING AND DEMOLITION RCP  
1:100

BUILDING PERMIT

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STRUCTURE	
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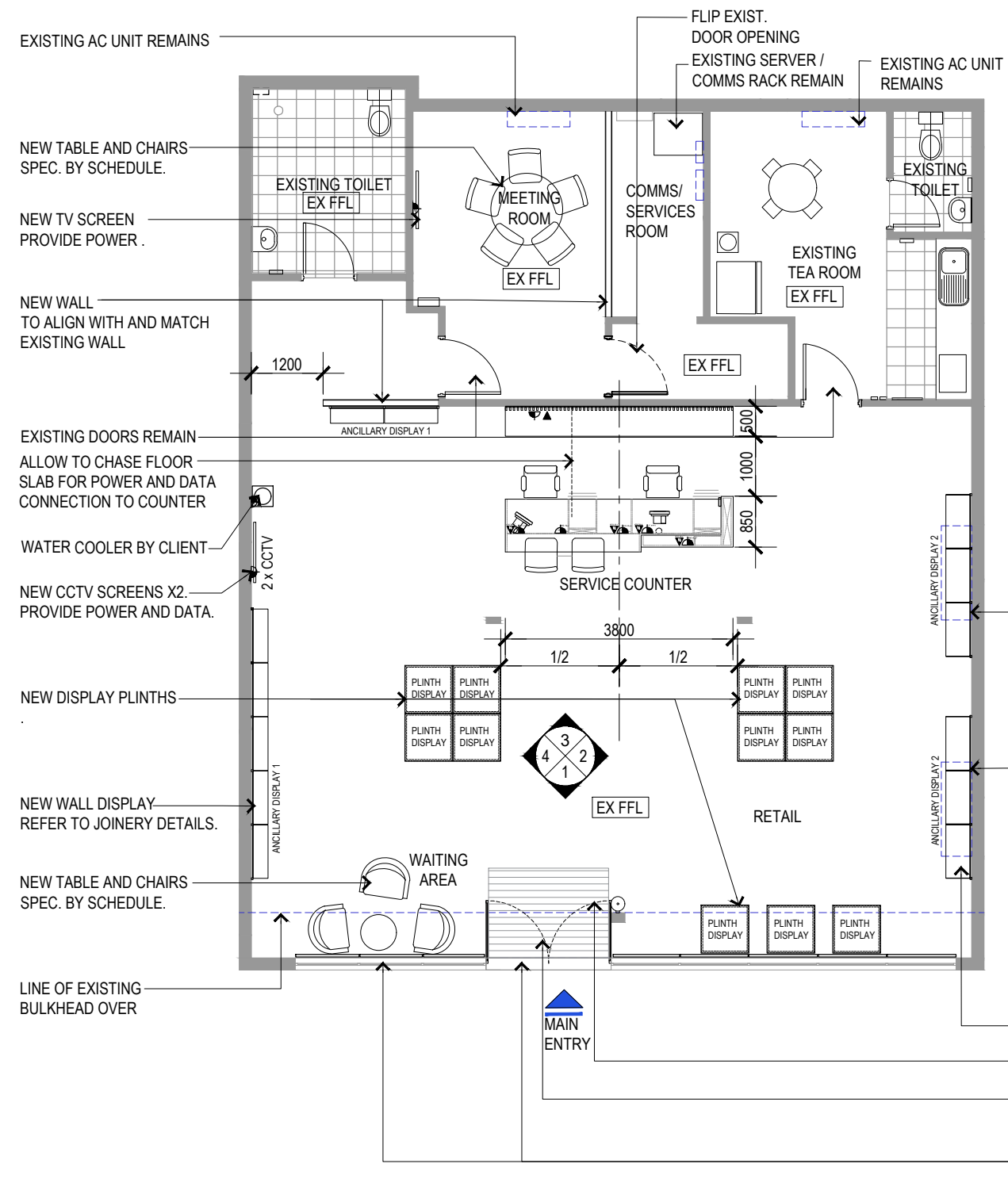
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**FITOUT**  
 19 Bungana Ave, Perth Airport, WA 6105

**Sheet name**  
 EXISTING AND DEMOLITION  
 RCP

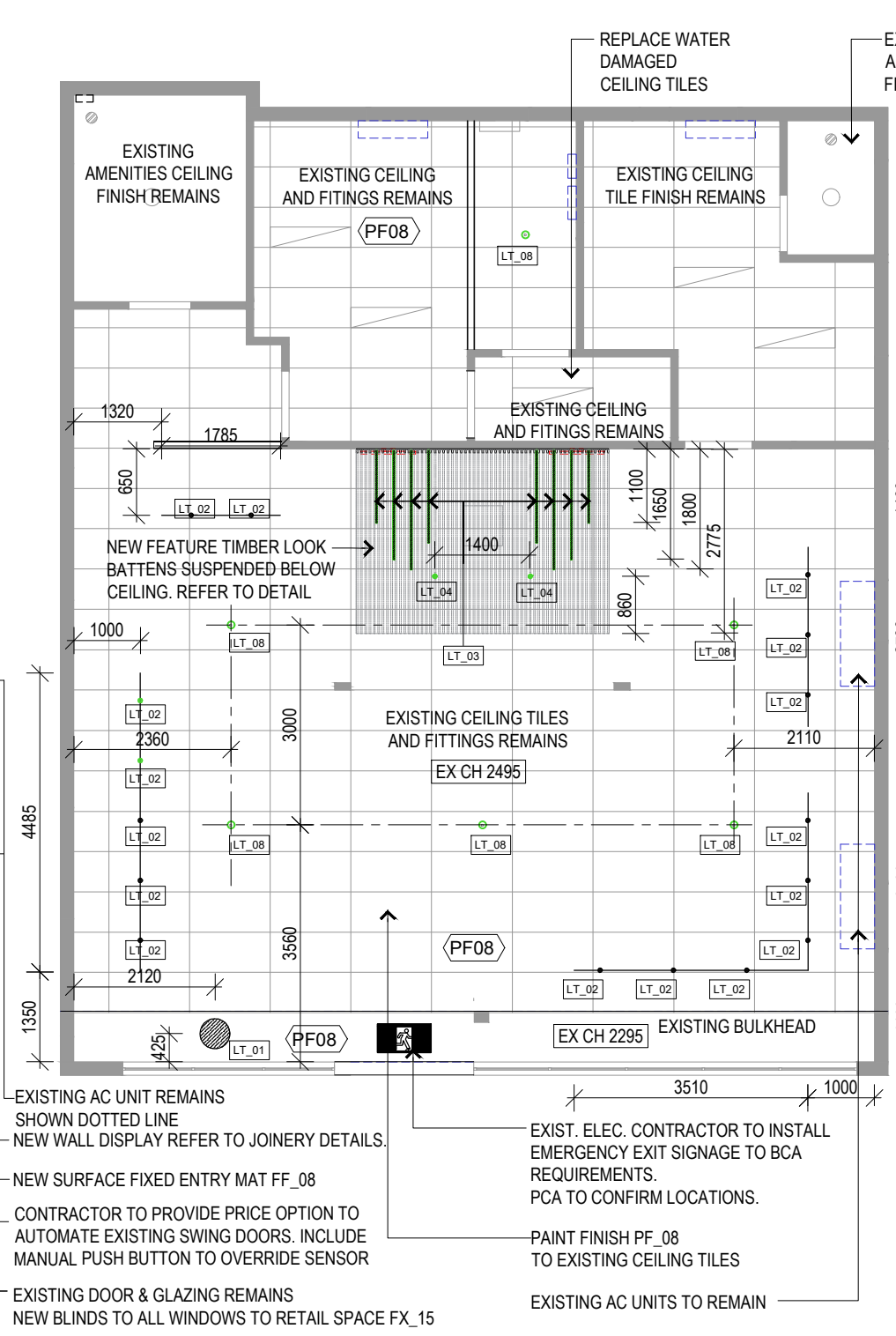
Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: S47F Checked By: S47F

SHEET TYPE	
Drawing No.	Stage - Rev
A01.01a	TD - 03



NOTE: CONTRACTOR TO ALLOW FOR STRUCTURAL REVIEW OF WALL DEMOLITION AND ANY NEW COLUMN REQUIREMENTS.

**1 PROPOSED PLAN**  
1:100



NOTE: LOCATION OF ALL EXISTING CEILING SERVICES SHOWN IS INDICATIVE ONLY. ALL EXISTING SPRINKLERS AND / OR SMOKE DETECTORS TO BE RETAINED / RECONFIGURED TO FIRE SERVICES CONTRACTOR'S REQUIREMENTS.

**2 PROPOSED RCP**  
1:100

**REFLECTED CEILING NOTES:**

- REFLECTED CEILING PLAN DRAWING TO BE READ IN CONJUNCTION WITH SERVICES ENGINEER'S DRAWINGS
- MAKE GOOD TO EXISTING CEILING WITH FINISHES TO MATCH EXISTING
- THE MINIMUM ACCEPTABLE CLEARANCE BETWEEN ANY CEILING GRID AND THE UNDERSIDE OF BEAMS OR SLABS ABOVE MUST BE 450mm.
- CEILING HEIGHTS MUST NOT BE LESS THAN 2700mm IN ANY LOCATION

**FINISHES LEGEND**

LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:  
 (PF01) DENOTES PAINT FINISH  
 (WF01) DENOTES WALL FINISH

**LIGHTING LEGEND**

LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:  
 (LT\_01) DENOTES LIGHT FITTING CODE. REFER TO LIGHTING SCHEDULE  
 (LT\_02) DENOTES LIGHT FITTING CODE. REFER TO LIGHTING SCHEDULE

**LIGHTING NOTES:**

SK LOGO AND FEATURE WALL/ CEILING LED LIGHTS TO BE ONE SWITCH. CONFIRM WITH CLIENT ON ANY REQUIREMENT FOR THESE TO BE LEFT ON A TIMER.  
 ALL OTHER LIGHTS TO BE ON SECOND SWITCH.  
 LIGHTING LAYOUT FOR INDICATIVE PURPOSES ONLY.

ELECTRICAL CONTRACTOR TO ENSURE ALL PROPOSED WORKS ARE TO CURRENT STANDARDS AND COMPLIANT LEVELS  
 PROVIDE LED DOWNLIGHTS AS REQUIRED IN ADDITION TO SPECIFIED LIGHTING TO ACHIEVE REQUIRED LUX LEVELS.  
 LIGHT FITTINGS AND TRACKS TO BE COORDINATED WITH EXISTING CEILING.

**NOTES**

CONTRACTOR TO ENSURE LEVEL DIFFERENCE BETWEEN INTERNAL AND EXTERNAL AT ENTRANCE DOOR IS MAINTAINED UPON REFURBISHMENT.  
 CONTRACTOR TO ENSURE EXISTING FINISHED FLOOR LEVEL TO THE RETAIL OFFICE IS MAINTAINED UPON REFURBISHMENT.  
 NEW BLACK GLAZING FILM STRIP APPLIED TO INSIDE FACE OF GLAZING AND GLAZED DOORS. GLAZING FILM TO BE IN ACCORDANCE WITH AS1428.1(2009)

**DOOR NOTES:**

ALL NEW DOORS AND DOOR HARDWARE TO BE COMPLIANT WITH AS1428.1(2009) AND BCA EGRESS REQUIREMENTS.  
 ENSURE AUTOMATED DOOR LEAF OPENING ACHIEVES MINIMUM 850MM CLEAR IN COMPLIANCE WITH AS1428.1(2009)  
 ALL AUTOMATIC (POWER OPERATED) DOORS TO COMPLY WITH CLAUSE D2.19 OF THE BCA.  
 CONTRACTOR TO PROVIDE PRICE OPTION TO AUTOMATE EXISTING SWING DOOR. INCLUDE MANUAL PUSH BUTTON TO OVERRIDE SENSOR  
 REMOVE EXISTING DOOR HARDWARE TO EXTERNAL AND INTERNAL DOORS. INSTALL NEW DOOR HARDWARE COMPLIANT TO AS1428.1(2009) AND BCA REQUIREMENTS.  
 ALL DOOR HANDLES, LOCKS, AND FAIL SAFE DEVICES TO COMPLY WITH CLAUSE D2.21 OF THE BCA

**FINISHES LEGEND**

LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:

- (PF01) DENOTES PAINT FINISH
- (WF01) DENOTES WALL FINISH

**NOTE:**  
 ALL DRAWINGS AND DOCUMENTS ARE SUBJECT TO CLIENT REVIEW AND APPROVAL.

**BUILDING PERMIT**

ISSUE	DATE	DESCRIPTION
TD-03	14.09.22	BUILDING PERMIT
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 CONSTRUCTION SERVICES

**Builder**

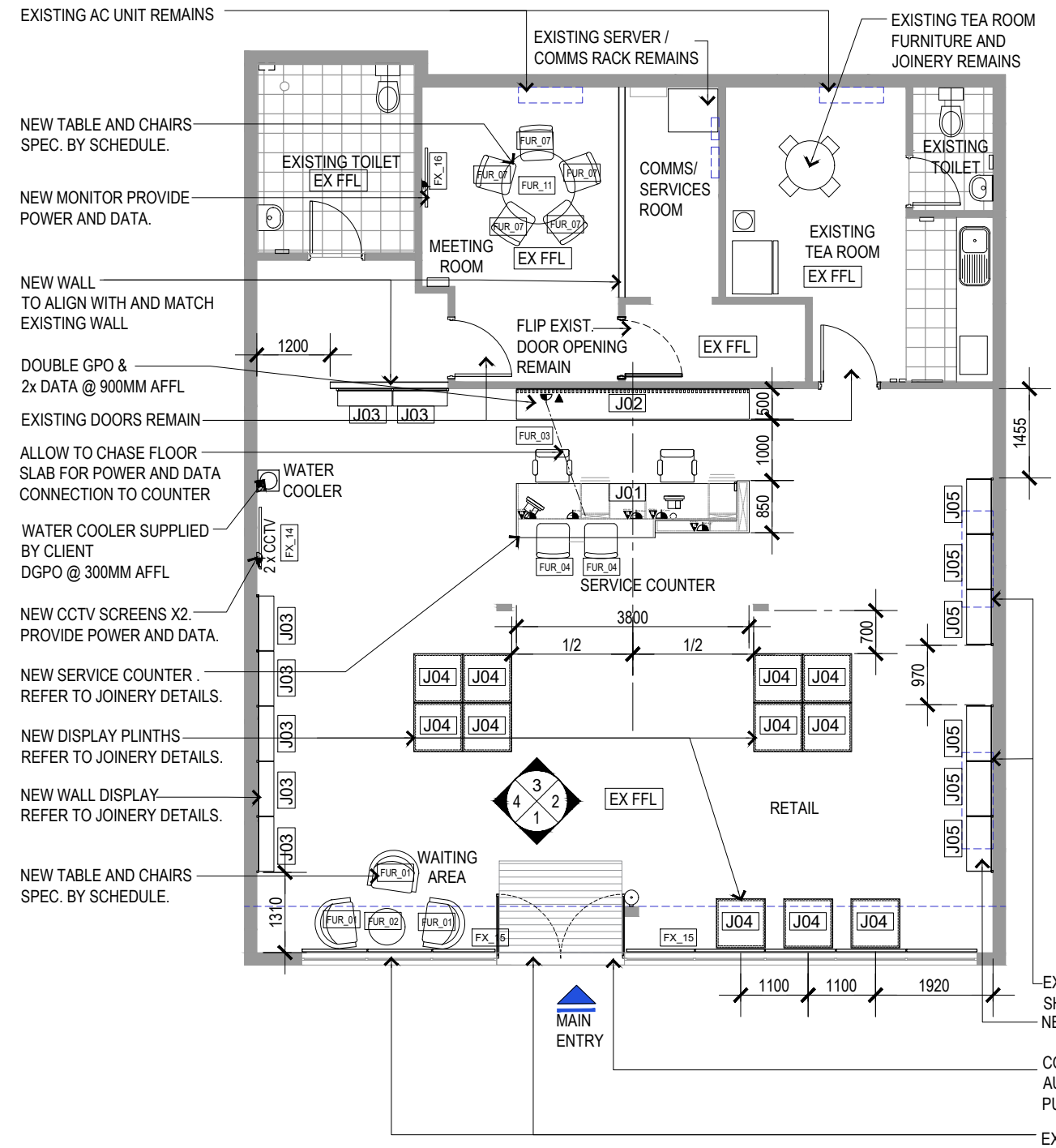
**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors  
 BN Group Pty Ltd  
 82 Alexander Street  
 Crows Nest, NSW 2085  
 ABN 43 092 960 499  
 T +61 2 9437 0511  
 F +61 2 9437 0522  
 www.bngrrouponline.com  
 gndray@bngrrouponline.com

**Project**  
 STORAGE KING  
 PERTH AIRPORT RETAIL  
 FITOUT  
 19 Bungana Ave, Perth Airport, WA 6105

**Sheet name**  
 PROPOSED FLOOR PLAN

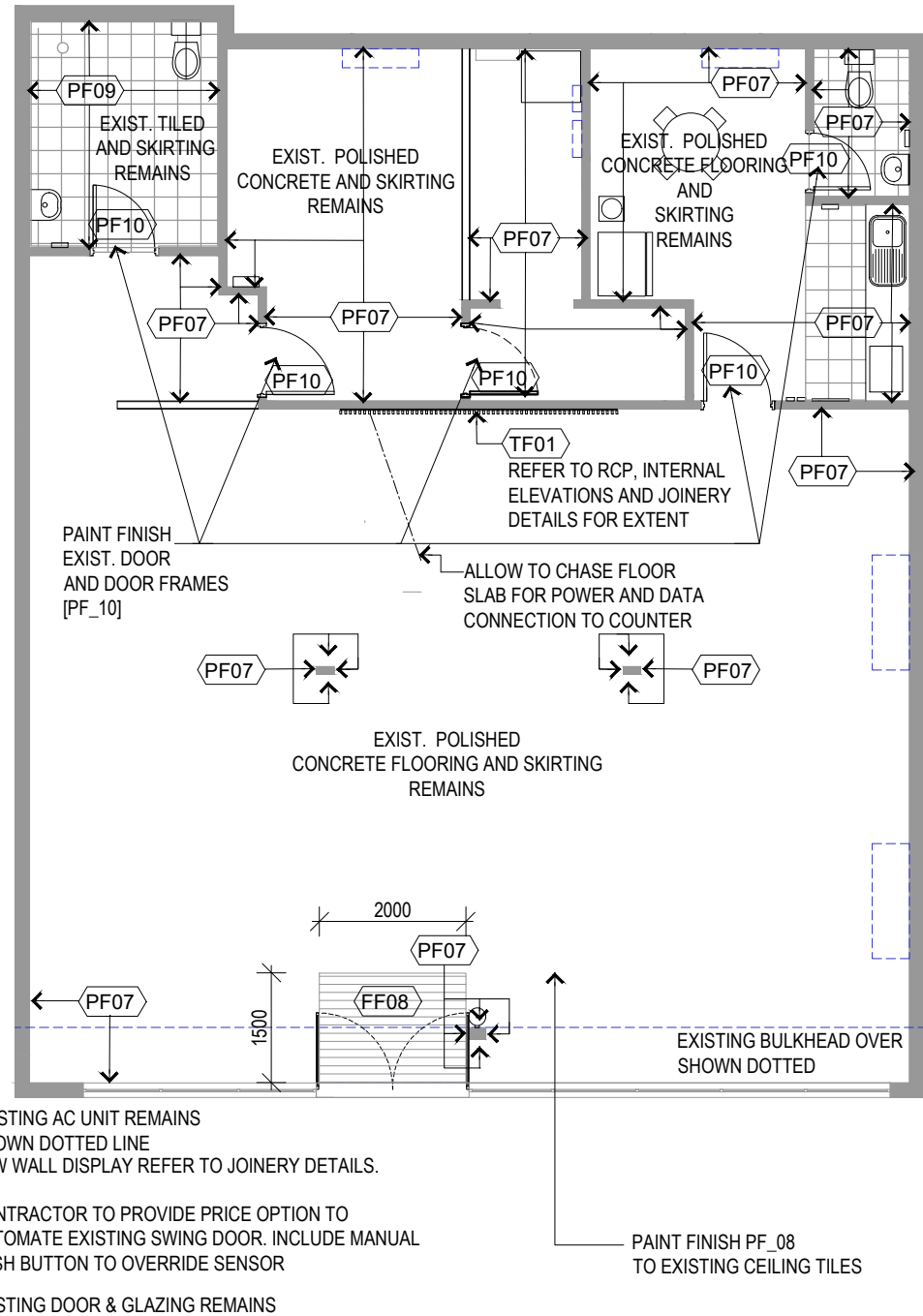
SHEET TYPE	
Drawing No.	Stage - Rev
A06.01	TD - 03

Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: S47F  
 Checked By: S47F



NOTE: CONTRACTOR TO ALLOW FOR STRUCTURAL REVIEW OF WALL DEMOLITION AND ANY NEW COLUMN REQUIREMENTS.

**1** PROPOSED FURNITURE PLAN  
1:100



**2** PROPOSED FINISHES PLAN  
1:100

**FURNITURE LEGEND**

LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:

- J01 DENOTES JOINERY
- FUR\_01 DENOTES FURNITURE CODE. REFER TO FURNITURE SCHEDULE
- FX\_01 DENOTES FIXTURE CODE. REFER TO FIXTURE SCHEDULE

**FINISHES LEGEND**

LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:

- FF01 DENOTES FLOOR FINISH
- PF01 DENOTES PAINT FINISH
- WF01 DENOTES WALL FINISH
- JF01 DENOTES JOINERY FINISH

**FURNITURE NOTES:**

1. REFER TO FURNITURE SCHEDULE FOR ALL SPECIFICATIONS OF FURNITURE AS CODED.
2. EXISTING WALL SHOWN ARE NOMINAL AND BUILDER IS RESPONSIBLE FOR ALL SITE MEASUREMENTS TO SUIT NEW WORKS, PRIOR TO COMMENCEMENT OF NEW WORKS.
3. REFER TO LOOSE FURNITURE SCHEDULE FOR TYPE AND FINISH OF FURNITURE
4. REFER TO FURNITURE SCHEDULE FOR A DETAILED DESCRIPTION OF UNITS
5. ALL PATHS OF TRAVEL TO BE AS SETOUT.

**FINISHES NOTES:**

1. REFER TO FINISHES SCHEDULE FOR ALL SPECIFICATION OF FINISHES AS CODED.
2. PAINT FINISH WITH INTERIOR LOW SHEEN ACRYLIC PAINT FOR PAPER BASED AND FIBROUS PLASTER UNLESS OTHERWISE NOTED AND SUPPLIED BY THE MANUFACTURER AS SPECIFIED, ALLOW APPLIED TO MANUFACTURER'S INSTRUCTIONS TO SUITABLY PRIMED AND SEALED WALL LININGS.
3. ENSURE ALL SAW CUT MARKS TO DOORS HAVE BEEN SANDED PRIOR TO PAINTING, DOORS WITH VISIBLE CUT MARKS WILL BE REJECTED.
4. SOLID CORE DOORS TO BE PAINTED PF\_04 IF REQUIRED (SEE SCHEDULE)
5. ALL WALLS TO BE PAINTED PF\_01. UNLESS NOTED OTHERWISE.

**NOTE:**  
SHOP DRAWINGS TO BE PROVIDED FOR CLIENT'S APPROVAL

**NOTE:**  
ALL DRAWINGS AND DOCUMENTS ARE SUBJECT TO CLIENT REVIEW AND APPROVAL.

BUILDING PERMIT

ISSUE	DATE	DESCRIPTION
TD-03	14.09.22	BUILDING PERMIT
TD-02	06.07.22	TENDER ISSUE
TD-01	17.06.22	TENDER ISSUE
P-01	20.05.22	PRELIMINARY ISSUE

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Coordinated Reference Drawings	
Discipline	Company
SURVEY	
STRUCTURE	
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**  
**ABACUS PROPERTY GROUP**  
 LEVEL 34, AUSTRALIA SQUARE  
 264 - 276 GEORGE ST,  
 SYDNEY NSW 2000

**Project Manager**  
**HENSON PROJECTS**  
 PROJECT MANAGEMENT &  
 CONSTRUCTION SERVICES

**Builder**

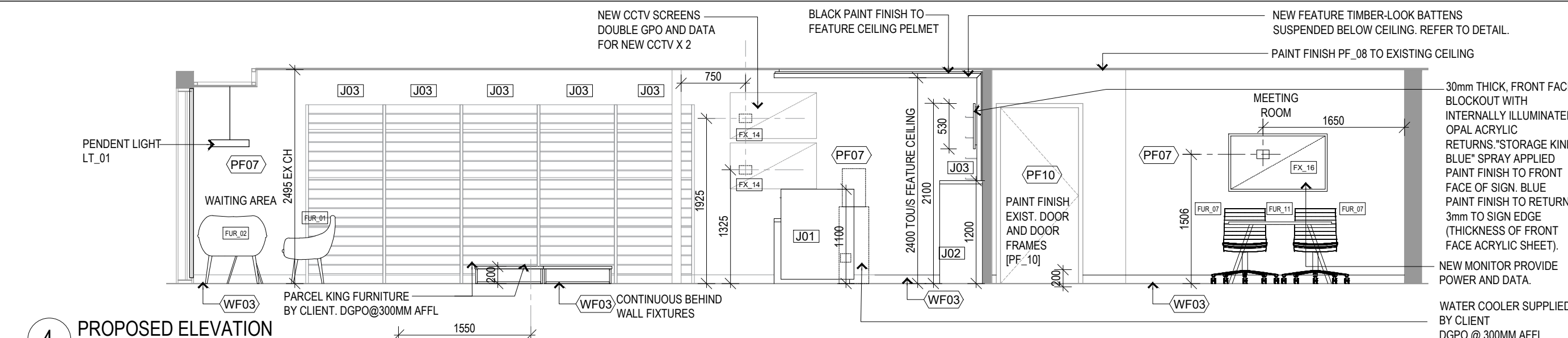
**Architect**  
**BN** Architecture  
 Urban Design  
 Masterplanning  
 Graphics  
 Interiors

BN Group Pty Ltd  
 82 Alexander Street  
 Crows Nest, NSW 2065  
 ABN 43 092 960 499

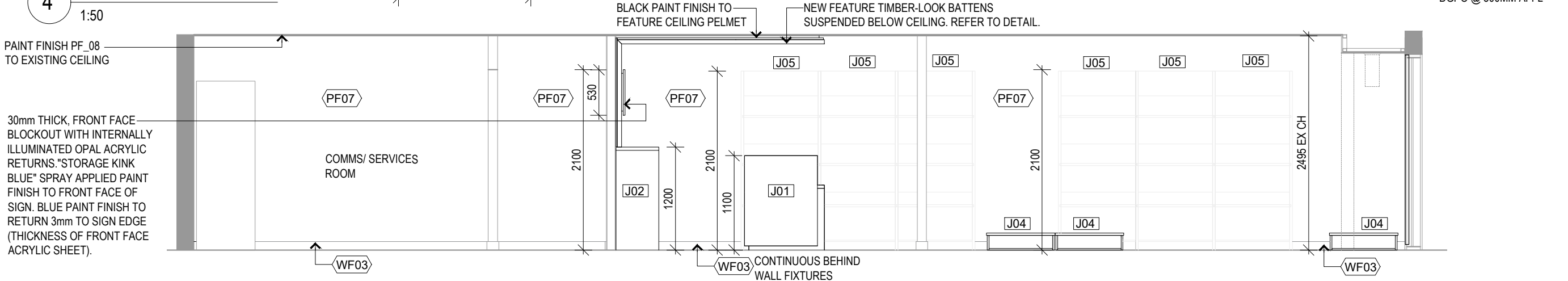
**Project**  
 STORAGE KING  
 PERTH AIRPORT RETAIL  
 FITOUT  
 19 Bungana Ave, Perth Airport, WA 6105

**Sheet name**  
 PROPOSED FURNITURE PLAN &  
 FINISHES PLAN

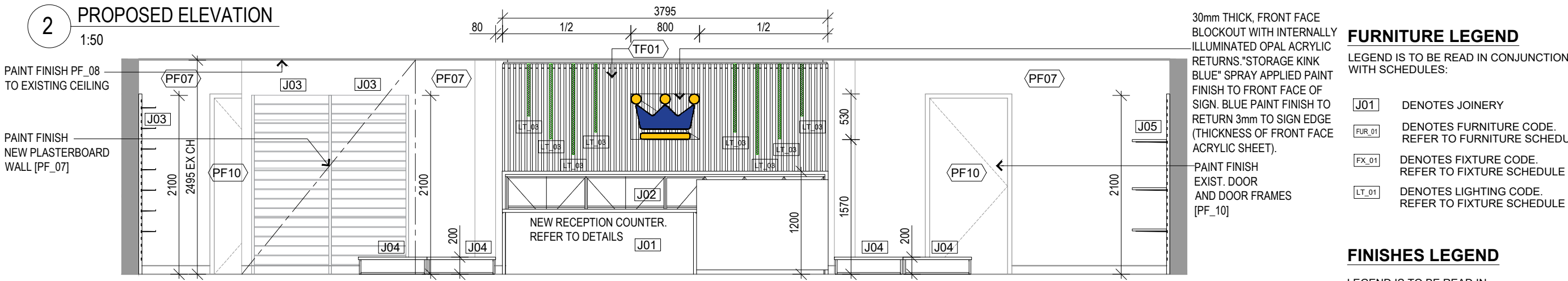
Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: S47F Checked By: S47F  
**SHEET TYPE**  
 Drawing No. Stage - Rev  
 A06.02 TD - 03



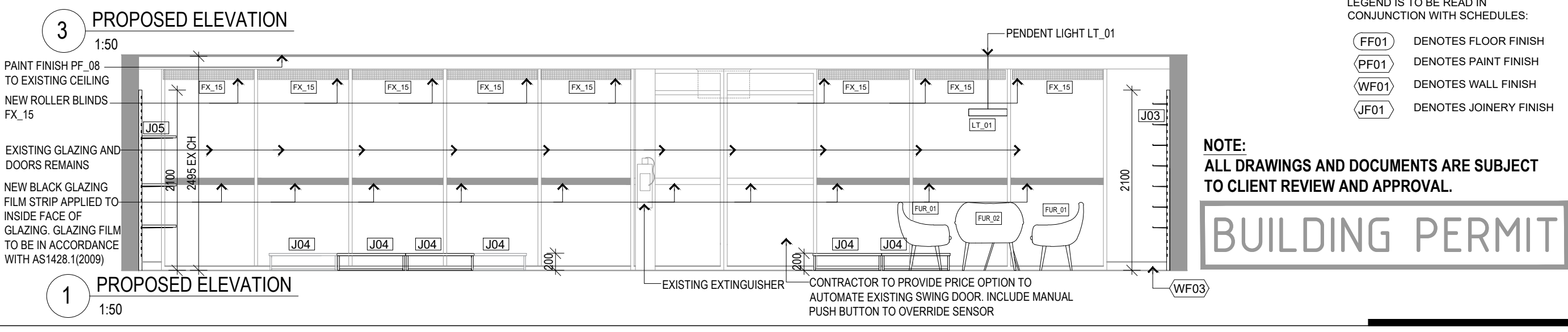
**4 PROPOSED ELEVATION**  
1:50



**2 PROPOSED ELEVATION**  
1:50



**3 PROPOSED ELEVATION**  
1:50



**1 PROPOSED ELEVATION**  
1:50

30mm THICK, FRONT FACE BLOCKOUT WITH INTERNALLY ILLUMINATED OPAL ACRYLIC RETURNS."STORAGE KINK BLUE" SPRAY APPLIED PAINT FINISH TO FRONT FACE OF SIGN. BLUE PAINT FINISH TO RETURN 3mm TO SIGN EDGE (THICKNESS OF FRONT FACE ACRYLIC SHEET).

PAINT FINISH EXIST. DOOR AND DOOR FRAMES [PF\_10]

**FURNITURE LEGEND**

- LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:
- J01** DENOTES JOINERY
  - FUR\_01** DENOTES FURNITURE CODE. REFER TO FURNITURE SCHEDULE
  - FX\_01** DENOTES FIXTURE CODE. REFER TO FIXTURE SCHEDULE
  - LT\_01** DENOTES LIGHTING CODE. REFER TO FIXTURE SCHEDULE

**FINISHES LEGEND**

- LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:
- FF01** DENOTES FLOOR FINISH
  - PF01** DENOTES PAINT FINISH
  - WF01** DENOTES WALL FINISH
  - JF01** DENOTES JOINERY FINISH

**NOTE:**  
ALL DRAWINGS AND DOCUMENTS ARE SUBJECT TO CLIENT REVIEW AND APPROVAL.

**BUILDING PERMIT**

ISSUE	DATE	DESCRIPTION
TD-03	14.09.22	BUILDING PERMIT
TD-02	06.07.22	TENDER ISSUE
TD-01	17.06.22	TENDER ISSUE

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Discipline	Company
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STRUCTURE	
CIVIL	
MECHANICAL	
HYDRAULIC	
ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**  
**ABACUS PROPERTY GROUP**  
 LEVEL 34, AUSTRALIA SQUARE  
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**Project Manager**  
**HENSON PROJECTS**  
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**Builder**

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 enquiry@bngrrouponline.com

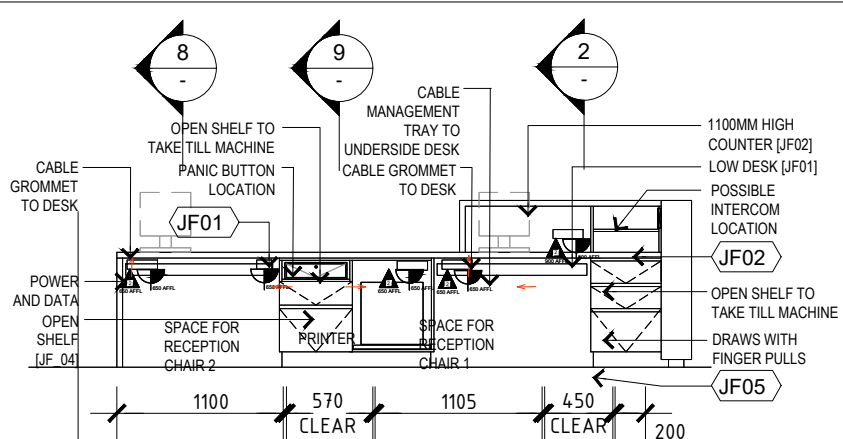
**Project**  
**STORAGE KING**  
**PERTH AIRPORT RETAIL**  
**FITOUT**  
 19 Bungana Ave, Perth Airport, WA 6105

**Sheet name**  
 PROPOSED ELEVATIONS

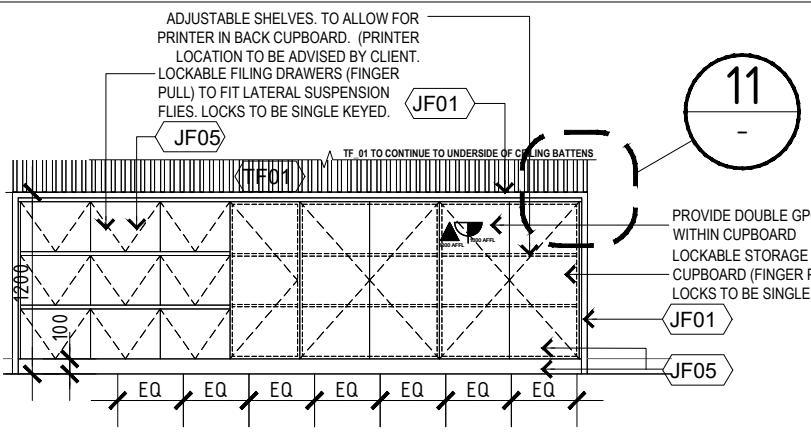
Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: S47F Checked By: S47F

SHEET TYPE	Drawing No.	Stage - Rev
	A10.01	TD - 02

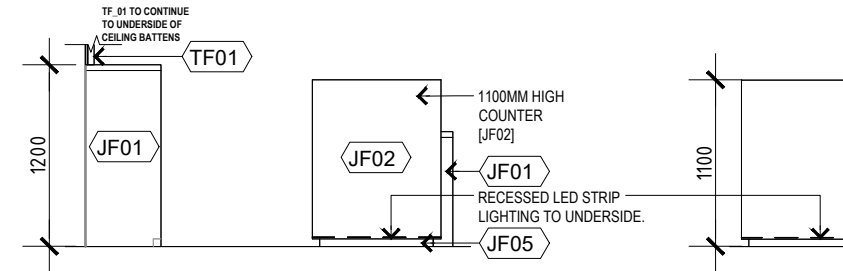




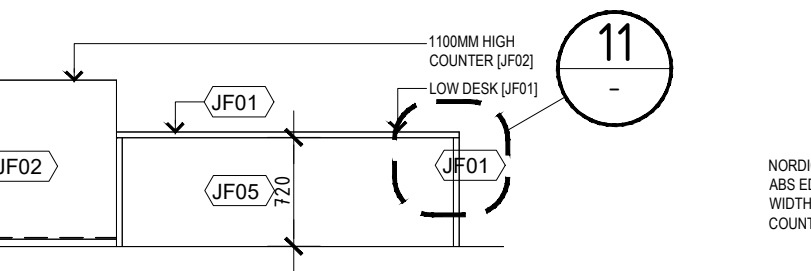
6 ELEVATION- JOINERY J01  
1:50 SERVICE COUNTER



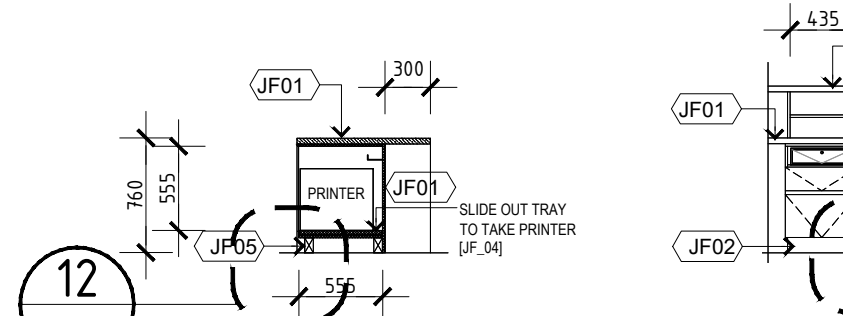
7 ELEVATION- JOINERY J02  
1:50 CRENZNA



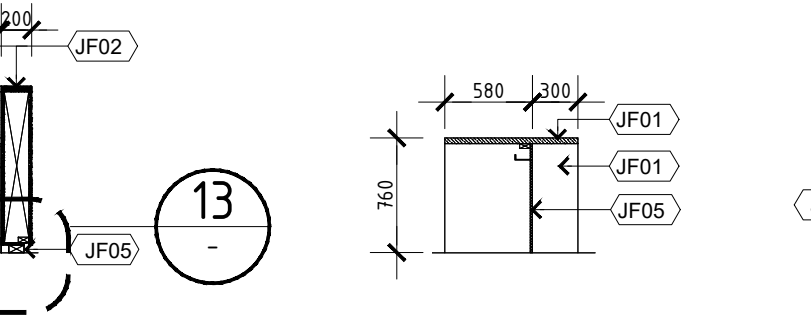
4 ELEVATION- JOINERY J01 & J02  
1:50 SERVICE COUNTER



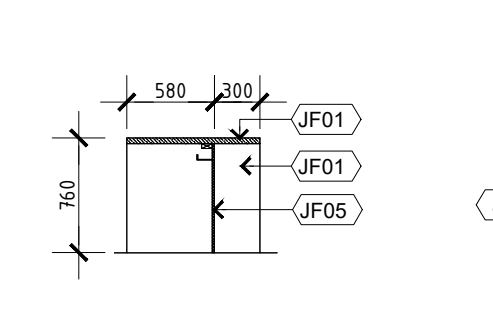
5 ELEVATION- JOINERY J01  
1:50 SERVICE COUNTER



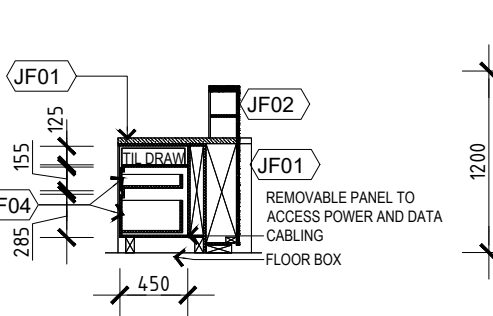
2 SECTION- JOINERY J01  
1:50 SERVICE COUNTER



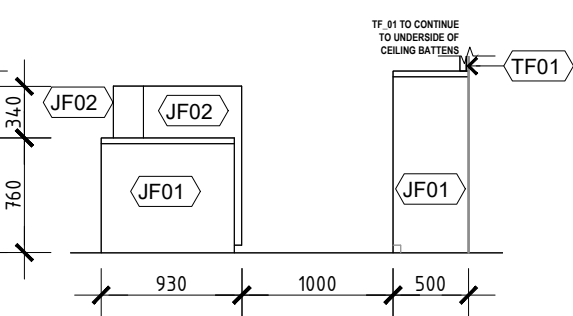
3 SECTION- JOINERY J01  
1:50 SERVICE COUNTER



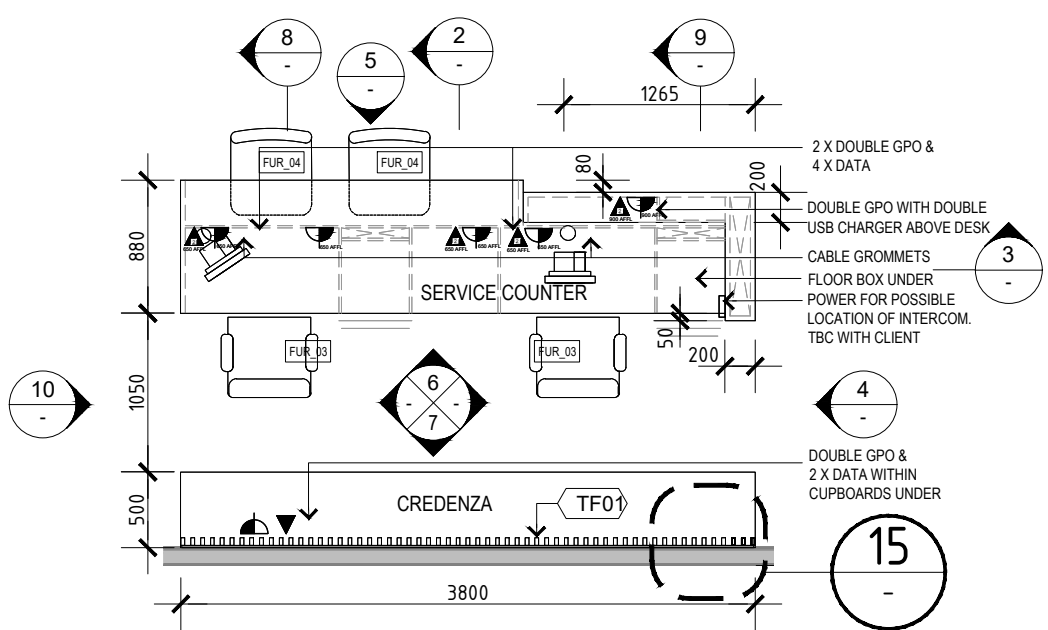
8 SECTION- JOINERY J01  
1:50 SERVICE COUNTER



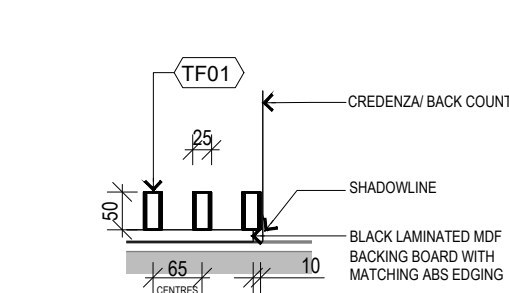
9 SECTION- JOINERY J01  
1:50 SERVICE COUNTER



10 SECTION- JOINERY J01 & J02  
1:50 SERVICE COUNTER



1 PLAN- JOINERY J01 AND J02  
1:50 SERVICE COUNTER AND CRENZNA



15 PLAN DETAIL- JOINERY TF01  
1:10 TF01 BATTENS

**FURNITURE LEGEND**

LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:

- J01 DENOTES JOINERY
- FUR\_01 DENOTES FURNITURE CODE. REFER TO FURNITURE SCHEDULE
- FX\_01 DENOTES FIXTURE CODE. REFER TO FIXTURE SCHEDULE
- INDICATES CABLE GROMMET TO DESK/ JOINERY
- INDICATES DOUBLE GPO WITH INSTALLATION HEIGHT AFFL.
- INDICATES DATA POINT WITH INSTALLATION HEIGHT AFFL.
- INDICATES DOUBLE DATA POINT WITH INSTALLATION HEIGHT AFFL.

**POWER AND DATA NOTES:**

- PROVIDE 4 X GPO AND 4 X DATA TO EACH SIDE OF THE FRONT COUNTER
- PROVIDE 1X DOUBLE GPO AND 1X DATA TO BACK COUNTER
- CONFIRM POWER AND DATA REQUIREMENTS WITH CLIENT

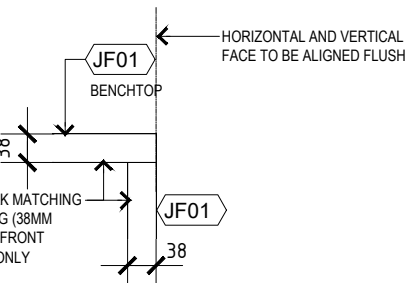
**FINISHES LEGEND**

LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:

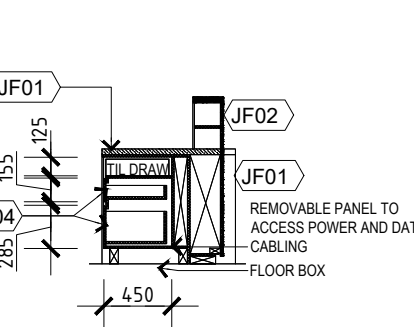
- FF01 DENOTES FLOOR FINISH
- PF01 DENOTES PAINT FINISH
- WF01 DENOTES WALL FINISH
- JF01 DENOTES JOINERY FINISH
- TF01 DENOTES TIMBER FINISH BATTENS

**NOTE:**  
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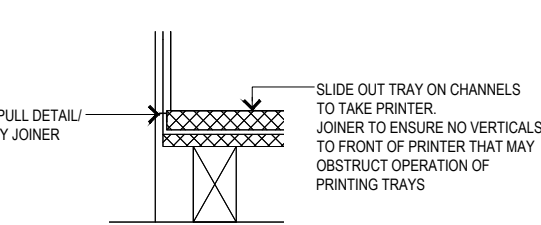
13 DETAIL- JOINERY  
1:10 RECESSED LIGHT



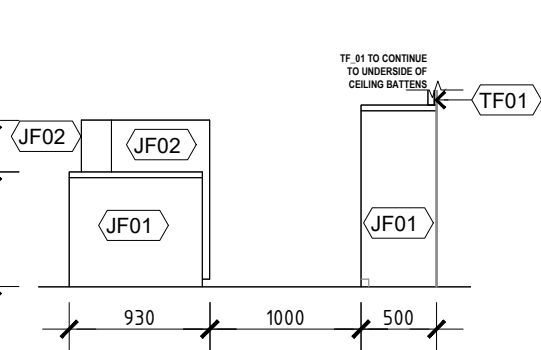
11 DETAIL- JOINERY  
1:10 LAMINATED BENCHTOP AND VERTICAL



14 TYPICAL DETAIL- JOINERY  
1:10 FINGER PULL CUPBOARDS AND DRAWERS



12 DETAIL- JOINERY  
1:10 PRINTER TRAY



**NOTE:**  
SHOP DRAWINGS TO BE PROVIDED FOR CLIENT'S APPROVAL

**NOTE:**  
JOINER TO ENSURE LAMINATE IS NOT OVERCUT AND THE LAMINATE JOINTS ARE FINISH FLUSH.

**BUILDING PERMIT**

ISSUE	DATE	DESCRIPTION
TD-03	14.09.22	BUILDING PERMIT
TD-02	06.07.22	TENDER ISSUE
TD-01	17.06.22	TENDER ISSUE

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Discipline	Company
SURVEY	
STRUCTURE	
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HYDRAULIC	
ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**  
ABACUS PROPERTY GROUP  
LEVEL 34, AUSTRALIA SQUARE  
264 - 276 GEORGE ST,  
SYDNEY NSW 2000

**Project Manager**  
HENSON PROJECTS  
PROJECT MANAGEMENT & CONSTRUCTION SERVICES

**Builder**

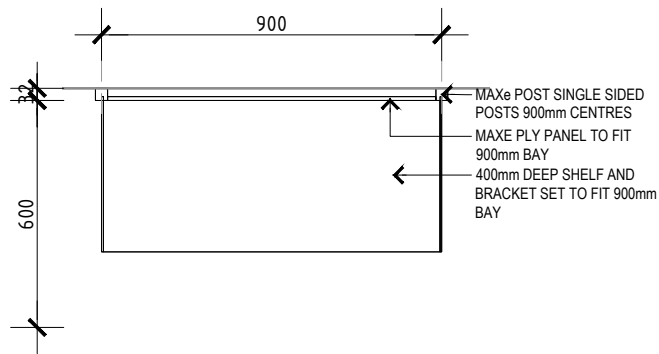
**Architect**  
BN Architecture  
Urban Design  
Masterplanning  
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BN Group Pty Ltd  
82 Alexander Street  
Crows Nest, NSW 2065  
ABN 43 092 960 499  
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sydney@bngronline.com

**Project**  
STORAGE KING  
PERTH AIRPORT RETAIL FITOUT  
19 Bungana Ave, Perth Airport, WA 6105

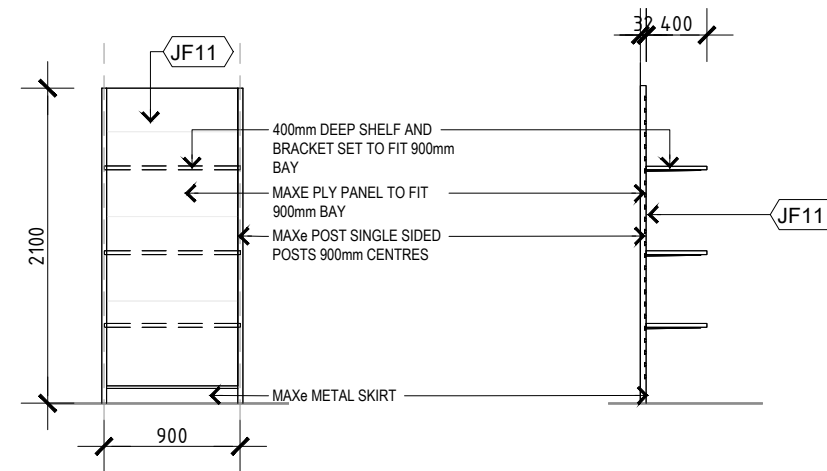
**Sheet name**  
PROPOSED JOINERY

Scale @ A3: AS INDICATED	Project No.: S2006
Drawn By: S47F	Checked By: S47F
SHEET TYPE	Stage - Rev
Drawing No. A35.01	TD - 03

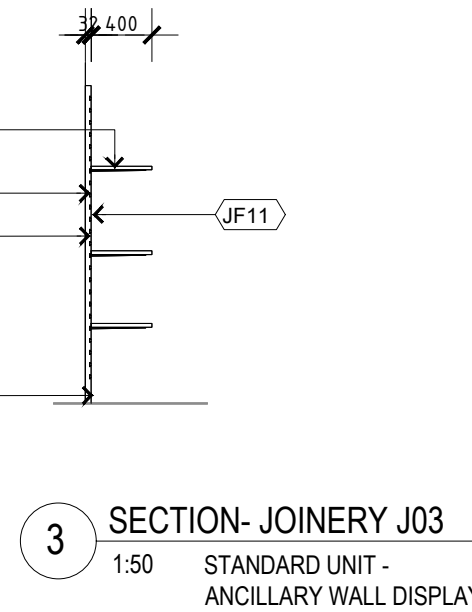
**NOTE:**  
SHOP DRAWINGS TO BE PROVIDED FOR CLIENT'S APPROVAL



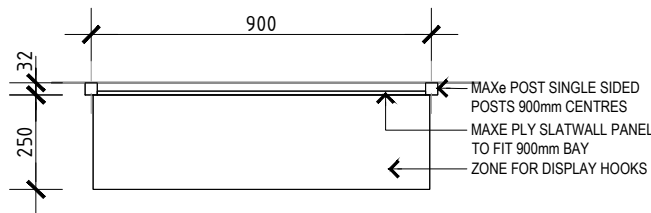
**1 PLAN - JOINERY J03**  
1:20 STANDARD UNIT - ANCILLARY WALL DISPLAY



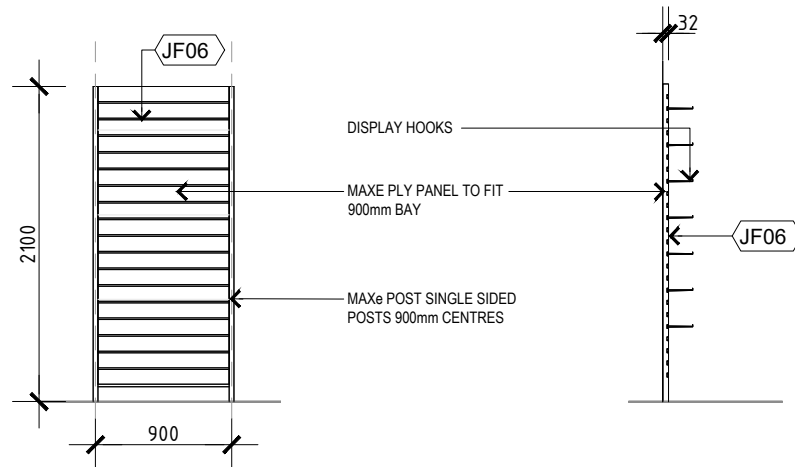
**2 ELEVATION- JOINERY J03**  
1:50 STANDARD UNIT - ANCILLARY WALL DISPLAY



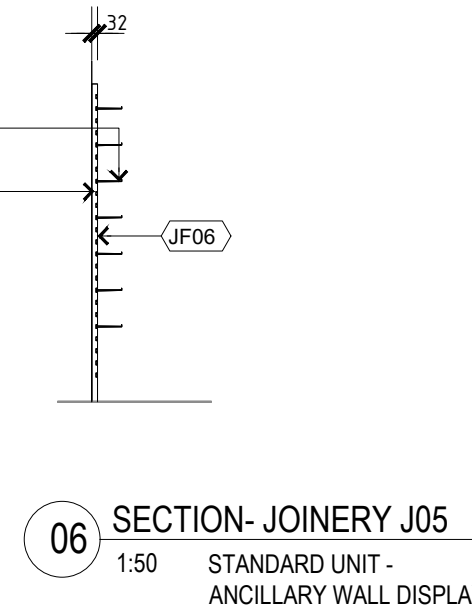
**3 SECTION- JOINERY J03**  
1:50 STANDARD UNIT - ANCILLARY WALL DISPLAY



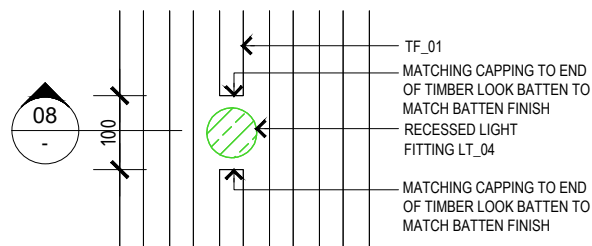
**04 PLAN - JOINERY J05**  
1:20 STANDARD UNIT - ANCILLARY WALL DISPLAY



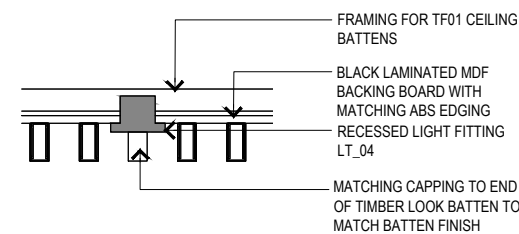
**05 ELEVATION- JOINERY J05**  
1:50 STANDARD UNIT - ANCILLARY WALL DISPLAY



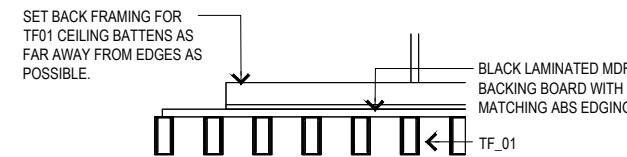
**06 SECTION- JOINERY J05**  
1:50 STANDARD UNIT - ANCILLARY WALL DISPLAY



**07 RCP- JOINERY TF01**  
1:10 TIMBER BATTENS- CEILING



**08 SECTION- JOINERY TF01**  
1:10 RECESSED LIGHT TO TF01



**09 ELEVATION- JOINERY TF01**  
1:10 TIMBER BATTENS

**FURNITURE LEGEND**

LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:

- J01** DENOTES JOINERY
- FUR\_01** DENOTES FURNITURE CODE. REFER TO FURNITURE SCHEDULE
- FX\_01** DENOTES FIXTURE CODE. REFER TO FIXTURE SCHEDULE

**FINISHES LEGEND**

LEGEND IS TO BE READ IN CONJUNCTION WITH SCHEDULES:

- FF01** DENOTES FLOOR FINISH
- PF01** DENOTES PAINT FINISH
- WF01** DENOTES WALL FINISH
- JF01** DENOTES JOINERY FINISH
- TF01** DENOTES TIMBER FINISH BATTENS

**NOTE:**  
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**BUILDING PERMIT**

ISSUE	DATE	DESCRIPTION
TD-03	14.09.22	BUILDING PERMIT
TD-02	06.07.22	TENDER ISSUE
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ELECTRICAL	
LANDSCAPE	
FIRE	

**Client**  
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 SYDNEY NSW 2000

**Project Manager**  
**HENSON PROJECTS**  
 PROJECT MANAGEMENT & CONSTRUCTION SERVICES

**Builder**

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 82 Alexander Street F +61 2 9437 0522  
 Crowns Nest, NSW 2065 www.bngrrouponline.com  
 ABN 43 092 960 499 gndry@bngrrouponline.com

**Project**  
**STORAGE KING**  
**PERTH AIRPORT RETAIL**  
**FITOUT**  
 19 Bungana Ave, Perth Airport, WA 6105

**Sheet name**  
 PROPOSED JOINERY

Scale @ A3: AS INDICATED  
 Project No.: S2006  
 Drawn By: S47F Checked By: S47F

SHEET TYPE	Drawing No.	Stage	Rev
	A35.02	TD	03



# Certificate of Compliance for Occupancy

*Airports Act 1996*

Airports (Building Control) Regulations 1996

Regulation 3.04

**Building Activity Number (BAN):** BAN-23-PER-0020**Airport Name:** Perth

## Certificate of Compliance

**Document ID:** 23-PER-000002141  
**Stage:** (Not Provided)  
**Issued Date:** 09-Jun-2023  
**Issued By:** s22(1)(a)(ii)  
 Airport Building Controller

## Issued to

**Legal Entity Name:** s47G(1)(a)  
**ABN:** s47G(1)(a)  
**Address Line 1:** s47G(1)(a)  
**Address Line 2:** (Not Provided)  
**Town/Suburb:** s47G(1)(a)  
**State/Territory:** s47  
**Postcode:** G(1)  
 s47G(1)(a)

## Attention of

**Name:** s47F  
**Primary Phone:** s47F  
**Secondary Phone:** (Not Provided)  
**Email:** s47F s47G(1)(a)

## Location of Building

19 Bungana Ave Perth Airport WA 6105

## Building Details

Upgrade of Existing Storage King Facility, painting of facade and storage unit doors, refurbishment of internal office, retail area, incl FF + E

## Building Classification(s)

(No BCA classification details provided)

## Conditions

Nil



## Notes

In accordance with Regulation 3.08, the Airport Building Controller is hereby satisfied in respect of the matters mentioned in subregulation 3.04(3), and the building activity as completed generally complies with the relevant Australian Standards.

*A Certificate of Compliance is evidence the building or part of the building to which it applies may be occupied, but it is not evidence the Airport Building Controller has authorised the building or part of the building be used for a particular purpose.*

*A Certificate of Compliance for occupancy of a building imposes the following duties on the holder of the certificate:*

*(a) The building or part must not be used for a purpose that is inconsistent with the classification of the building or part under the National Construction Code: and*

*(b) The building or part must be maintained in a condition that is consistent with its classification.*

(Not Provided)

## Essential Services Applicable

(Not Provided)

Airport Building Controllers (ABCs) are appointed by the Secretary of the Department of Infrastructure, Transport, Regional Development and Communications (the Department) under the Airports (Building Control) Regulations 1996 (the Regulations) to exercise the powers and functions which the Regulations vest in the ABCs, in relation to building control at federally leased airports. ABCs are also appointed as authorised officers by the Secretary under the *Airports Act 1996* to exercise certain powers under this Act, in relation to federally leased airports.

ABCs are contracted private companies, or employees or officers of such companies, and act independently of the Department. However, ABCs consult with the Department as necessary on certain matters, such as the interpretation of the Regulations.



# Roof Inspection Report

Prepared by National RoofCare for Storage King

07/09/2021

19 Bungana Avenue, Perth Airport, WA 6105- JN 2189



National RoofCare  
Level 4, 973 Nepean Highway, Bentleigh VIC 3204  
Offices: Melbourne VIC | Sydney NSW | Canberra ACT | Brisbane QLD  
[www.nationalroofcare.com.au](http://www.nationalroofcare.com.au)



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# 1 PROJECT BRIEF

National RoofCare has been engaged by Storage King to inspect and prepare a report on the condition of the roof at 19 Bungana Avenue, Perth Airport, WA 6105. Site inspection was undertaken in August 2021, in accordance with all relevant codes and Australian Standards. This report presents the findings and recommendations relating to the overall condition of the roof.



Figure 1: Aerial View of Site

The scope of works for the roof condition inspections included review of the following:

- Weather proofing
- Loose roof sheeting, flashing, capping or other materials
- Penetrations
- Corrosion of metal surfaces
- Damaged sheeting, capping and fixings
- Roof drainages, box gutters, rain-heads, sumps, valleys and down pipes
- Internal parapet capping and over flashing
- Caulking
- Roof mounted equipment
- Pipe-work insulation

Investigations were focused on the identification of the overall condition of the roof as well as items that may affect its future performance. Recommendations have been provided for measures to improve the performance of the roofs, in particular to improve their longevity and reduce the unwanted ingress of water. The roof is safely accessible using Elevated work Platform (EWP) and the use of the temporary anchor points. Inspection of the Height Safety System was not within the scope of this inspection.



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## 2 SUMMARY OF FINDINGS

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In general, the condition of the roof is fair with two issues that requires immediate attention. Incorrect design of flashing around precast panels and insufficient barge flashing on rear building on site. We recommend these are addressed to improve the on-going service level of the building and to prevent future issues.

Flashing installed for precast panels is incorrectly installed without providing a dry pan. This is allowing water ingress into the building in multiple along the precast walls. We recommend removing the existing flashing and install new extended apron flashing along the precast wall. This will stop water ingress into the facility.

Barge installed over the high end of the roof sheets overlaps the end of the sheets approximately 100mm. Due to insufficient width, barge flashing allowing dust and water ingress into the facility. We have also noted in some locations exposed insulation is holding water with high wind driven rains. We recommend install a new wider flashing to stop accumulation of debris and water getting underneath with wind driven rains.


Further details of these and other minor defects have been provided along with recommendations for remedial actions in Section 3 of this report.



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### 3 INSPECTION REPORT

Flashing	
Defect	The pre-cast concrete walls haven't been flashed correctly. Walls to upstairs premises have evidence of water ingress at every single vantage point. Please note we were unable to access upstairs area to report on water ingress as this area was not accessible due to storage lockers all the way to the ceiling. In our opinion we believe that almost all lockers along any of these walls would have water entry issues.
Recommended Action	Remove the existing apron flashings along all 8 wall surfaces and install new aprons which are high enough to have the top wall capping extend over the apron to completely seal the concrete from coming in contact with any water at all.
Measurement	8 @15 LM
Photos	 <p>The photos section contains four images. The top-left image shows the exterior of a building with a corrugated metal roof and a vertical pipe. The top-right image shows an interior view of a wall and ceiling with a circular mark. The bottom-left image shows a close-up of a wall and ceiling joint with a circular mark. The bottom-right image shows another interior view of a wall and ceiling joint with a circular mark.</p>



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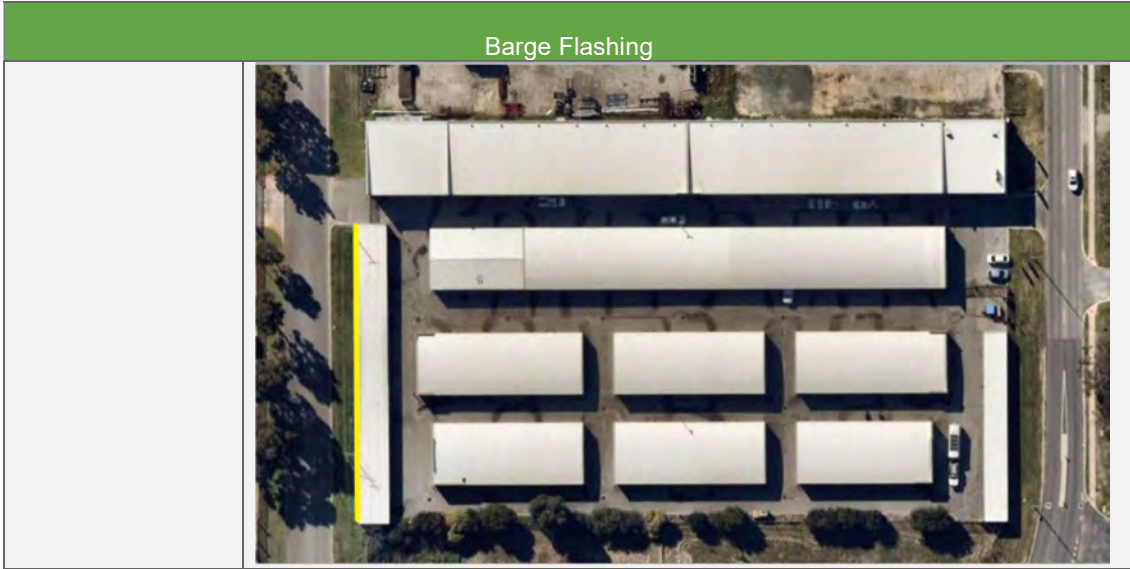
Barge Flashing	
Defect	Colourbond barge flashing over the high end of the roof sheets which only overlaps the ends of the sheets by approximately 100 mm. and It has been noted that dust under the flashing a is wet. This might allow water ingress and may also develop corrosion.
Recommended Action	Install a new wider colourbond barge flashing over the high end of the roof sheets to stop wind driven rain from penetrating into the inside.
Measurement	60 LM
Photos	



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# 4 Site Particulars

## 4.1 Dimensions and Area

### Western Building - Precinct 9002

Bldg ID	Tenant	Address	Description	Class	Site Area (m <sup>2</sup> )
0455	Abacus Storage	19 Bungana Avenue	Warehouse/ Workshop	Industrial	10,460

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# 4 Site Particulars

## 4.1 Dimensions and Area

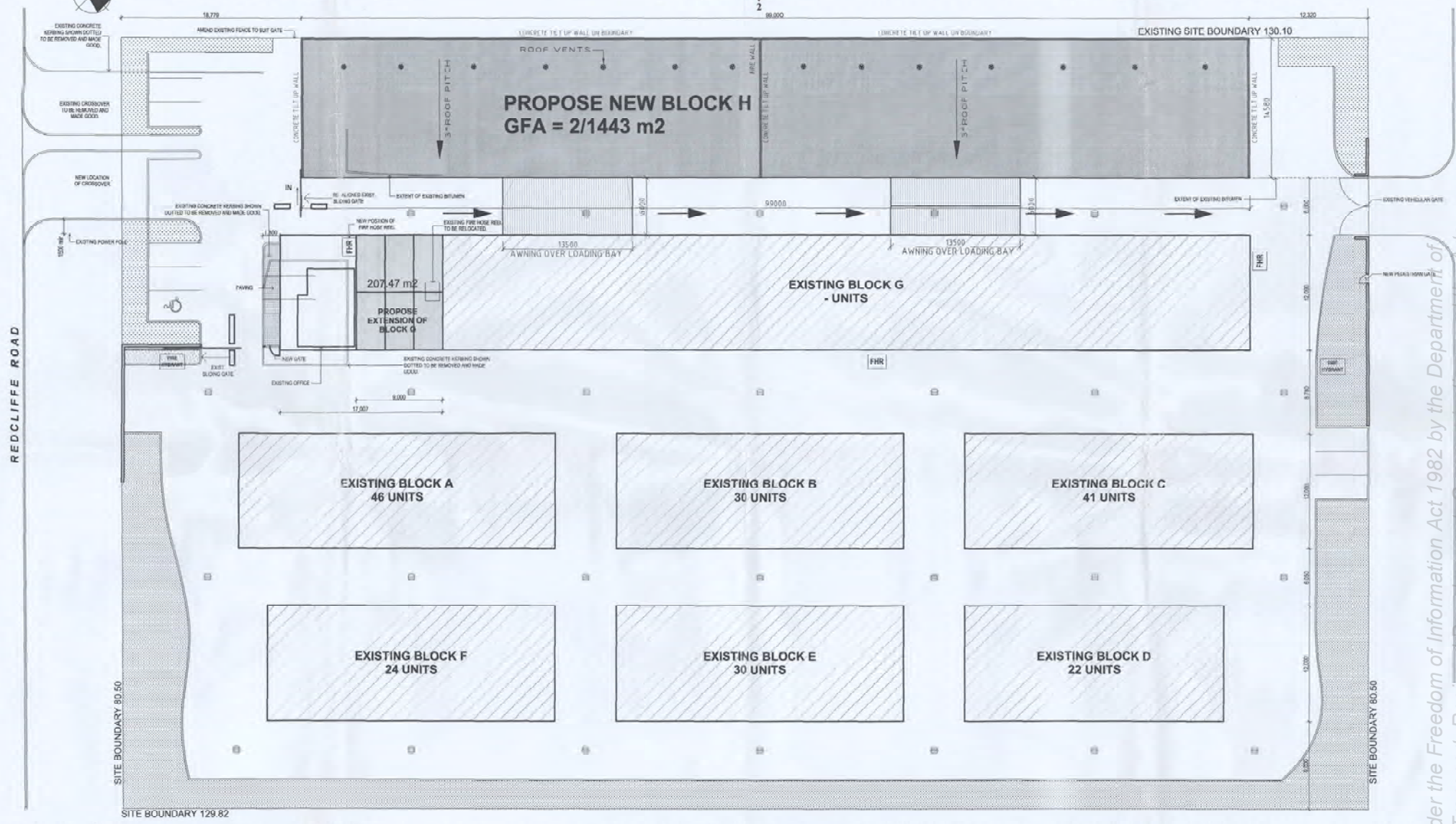
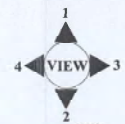
### Western Building - Precinct 9002

Bldg ID	Tenant	Address	Description	Class	Site Area (m <sup>2</sup> )
0455	Abacus Storage	19 Bungana Avenue	Warehouse/ Workshop	Industrial	10,460

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**EXISTING SITE PLAN**  
Scale 1:200

**ISSUED FOR B.A.**

REV	DATE	BY	DESCRIPTION
B	06/11/07	s47F	ISSUED FOR BA
A	01/10/07		ISSUED FOR DA
PRE	17/08/07		PRELIMINARY
P1	30/05/07		PRELIMINARY

CLIENT	s47G(1)(a)
PROJECT	51 REDCLIFFE ROAD REDCLIFFE PERTH-WA

PROJECT	PROPOSED NEW TWO LEVELS STORAGE BUILDING - H
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TITLE	EXISTING SITE PLAN & PROPOSED NEW BUILDING - H
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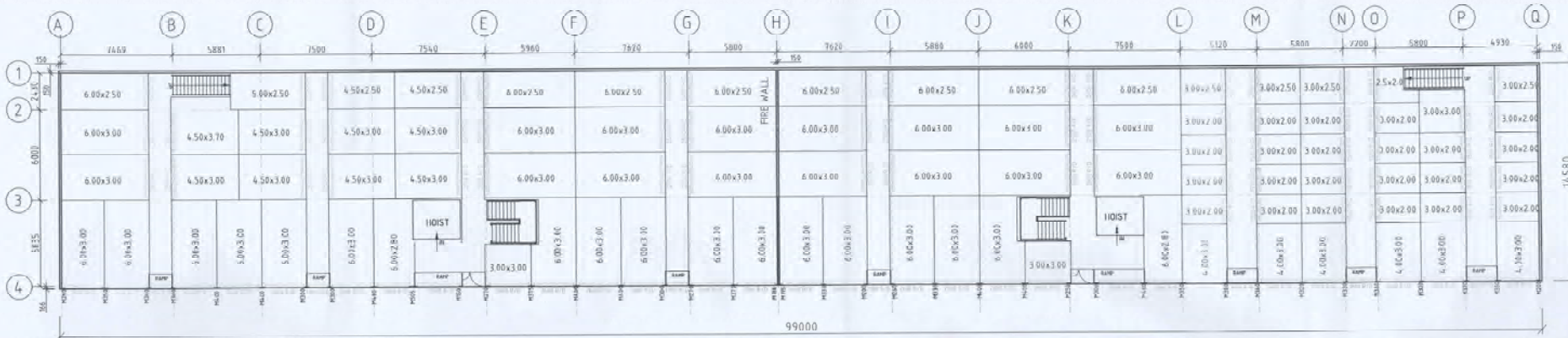
s47G(1)(a)

DRAWN	NAME	DATE
CHECKED	s47F	30/05/07
APP'D		

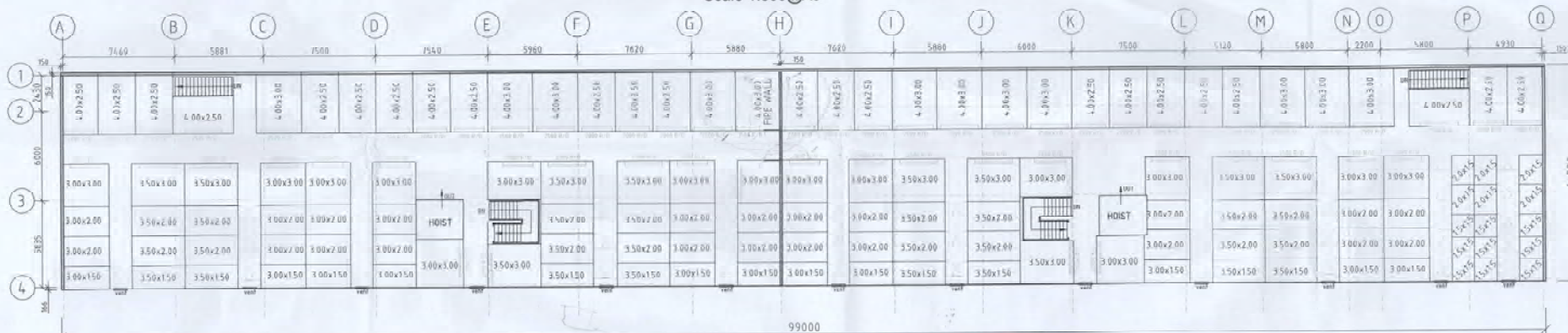
SCALE	1:200@A1
DRAWING NO.	WA 02-07/A01

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BUNGANA AVENUE

NOTE: LIVE LOAD ON FLOOR NOT TO EXCEED 5Kpa



**PROPOSED UNIT LAYOUT  
GROUND FLOOR**  
Scale 1:150@A1  
Scale 1:300@A3



**PROPOSED UNIT LAYOUT  
FIRST FLOOR**  
Scale 1:150@A1  
Scale 1:300@A3

*2000 m<sup>2</sup> fin. compartment  
fire wall  
Type C  
20/06/10*

UNIT MIX GROUND FLOOR		
APPROX. SIZE (m)	APPROX. AREA (m <sup>2</sup> )	QTY.
6.00x3.00	18.00	32
6.00x2.80	16.80	02
6.00x2.50	15.00	08
5.00x2.50	12.50	01
4.50x3.70	16.65	01
4.50x3.00	13.50	07
4.00x3.00	12.00	06
4.50x2.50	11.25	02
3.00x3.00	9.00	03
3.00x2.50	7.50	04
3.00x2.00	6.00	23
2.50x2.00	5.00	01
<b>TOTAL No. OF UNITS</b>		<b>90</b>

GROUND FLOOR INFORMATION	
FLOOR AREA (m <sup>2</sup> )	TOTAL /AVER.
Storage floor area	14.43
Total Net Lettable Area	1136
% Net Lettable	78

UNIT MIX FIRST FLOOR		
APPROX. SIZE (m)	APPROX. AREA (m <sup>2</sup> )	QTY.
4.00x3.00	12.00	12
4.00x2.50	10.00	23
3.50x3.00	10.50	10
3.00x3.00	9.00	15
3.50x2.00	7.00	16
3.50x1.50	5.25	08
3.00x2.00	6.00	22
3.00x1.50	4.50	11
2.00x1.50	3.00	06
1.50x1.50	2.25	09
<b>TOTAL No. OF UNITS</b>		<b>132</b>

FIRST FLOOR INFORMATION	
FLOOR AREA (m <sup>2</sup> )	TOTAL /AVER.
Storage floor area	14.43
Total Net Lettable Area	985
% Net Lettable	68

**ISSUED FOR B.A.**

Rev	Date	Dim	Description
0	05/11/07		ISSUED FOR I/A
1	01/11/07		ISSUED FOR O/A
2	18/09/07		ISSUED FOR REVIEW
3	20/05/07		PRELIMINARY

CLIENT	s47G(1)(a)
51 REDCLIFFE ROAD	
REDCLIFFE	
LEVEL 11-12	

PROJECT	PROPOSED NEW TWO LEVELS STORAGE BUILDING-H
---------	--

TITLE	PROPOSED UNIT LAYOUT FOR GROUND & FIRST FLOOR
-------	---

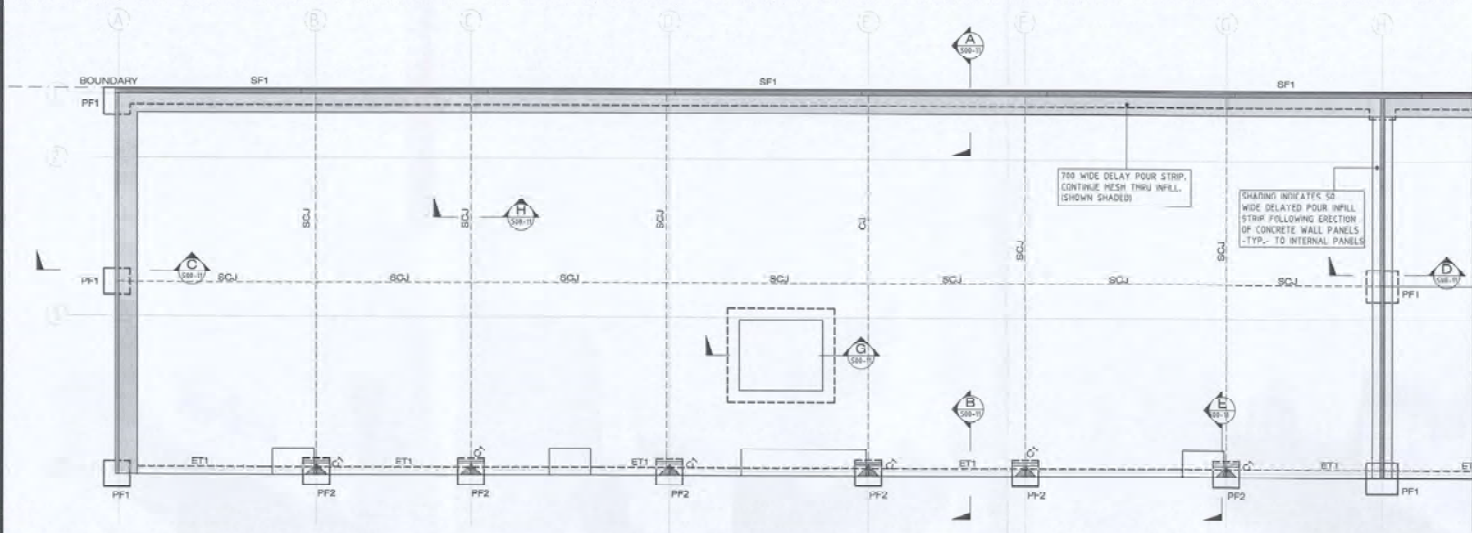
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DRAWN	s47F	DATE	30/05/07
CHECKED			
APP'D			

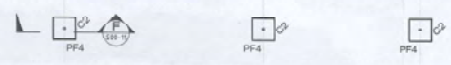
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DRAWING NO.	WA 02-07/A02	REV	B

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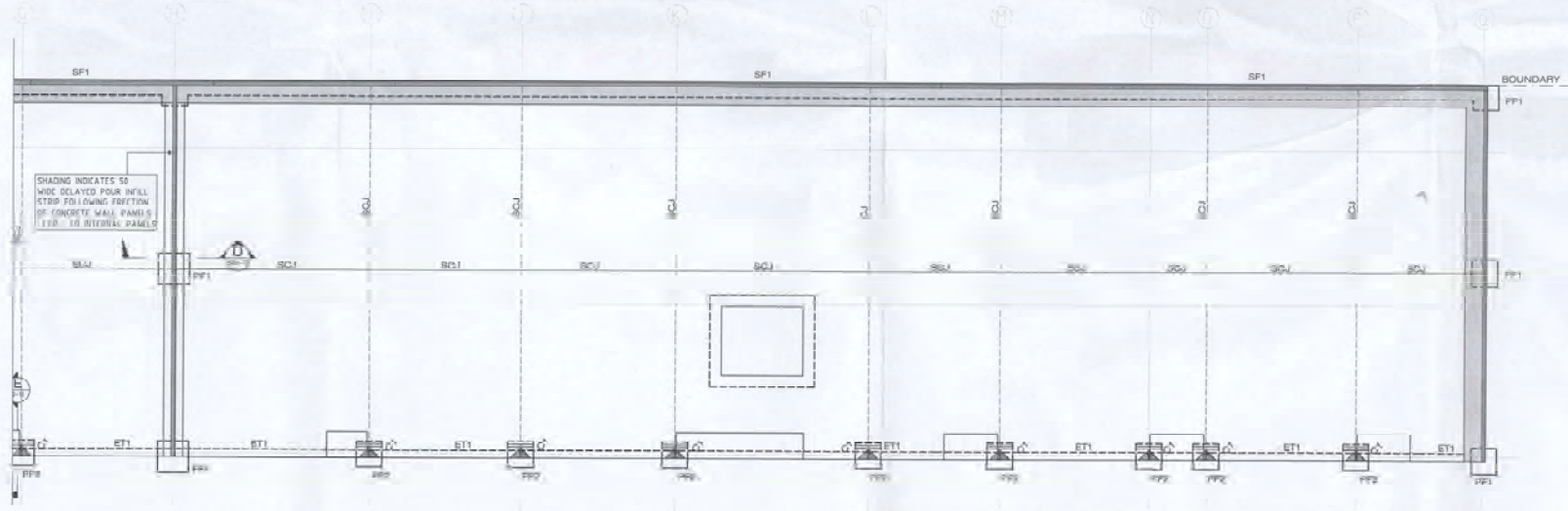
GROUND LEVEL FOOTING & SLAB - PART PLAN



**GROUND LEVEL FOOTING & SLAB PLAN**

**125mm THICK SLAB - SL72 MESH, 25 TOP COVER U.N.O**

- RE-ENTRANT BARS - 2 - N16 x 1500 LONG, PLACED CENTRAL IN SLAB, TO ALL INTERNAL CORNERS.
- CONFIRM ALL LEVELS ON SITE AND WITH ARCHT. DRAWINGS PRIOR TO WORK COMMENCING.
- REFER TO ARCHT'S FOR ALL RETAINING WALLS REQUIREMENTS (including existing)
- COLUMNS
  - C1 - 250 UB 31 OR 200 UC 46
  - C2 - 100 x 100 x 5.0 SHS COLUMN
- PAD FOOTINGS
  - PF1 - 1500 x 1000 x 350 DEEP
  - PF2 - 1700 x 1700 x 400 DEEP
  - PF3 - 750 x 750 x 250 DEEP - INTERNAL SLAB THICKENING
  - PF4 - 500 x 500 x 350 DEEP



GROUND LEVEL FOOTING & SLAB - PART PLAN



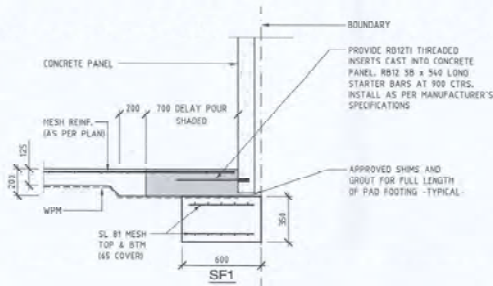
s47F

No.	DATE	AMENDMENT	CHECKED
A	16/02/08	ISSUED FOR BUILDING LICENSE	BAL

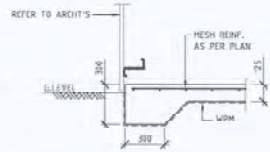
ISSUED FOR BUILDING LICENSE

s47G(1)(a)

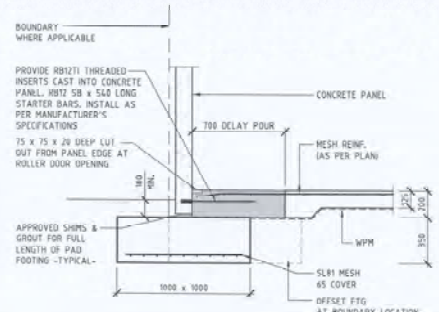
PROPOSED NEW STORAGE BUILDING - BLOCK H 51 REDCLIFFE ROAD REDCLIFFE			
GROUND FLOOR LEVEL FOOTING AND SLAB ON GROUND FLOOR PLAN			
SCALE	DATE	DRAWING No.	REV.
1:100	FEBRUARY 2008	s47F	08-167
SCALE	DATE	DRAWING No.	REV.
1:100	FEBRUARY 2008	s47F	08-167
SCALE	DATE	DRAWING No.	REV.
1:100	FEBRUARY 2008	s47F	08-167
SCALE	DATE	DRAWING No.	REV.
1:100	FEBRUARY 2008	s47F	08-167



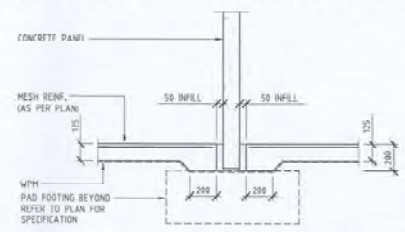
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SCALE 1:20



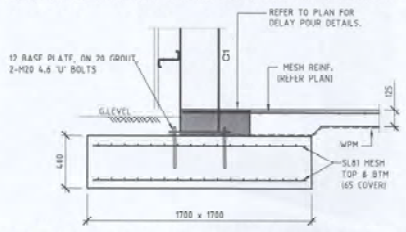
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SCALE 1:20



**C** SECTION  
SCALE 1:20

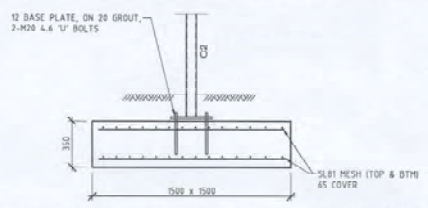


**D** SECTION  
SCALE 1:20



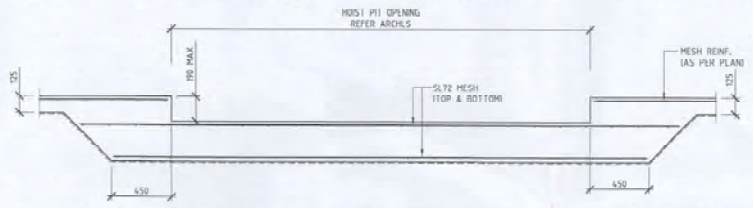
COLUMN C1 DETAIL

**E** SECTION  
SCALE 1:20



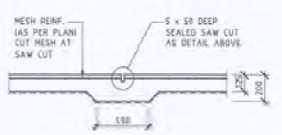
COLUMN C2 DETAIL

**F** SECTION  
SCALE 1:20



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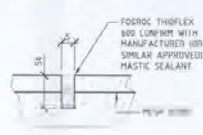
**G** SECTION  
SCALE 1:20



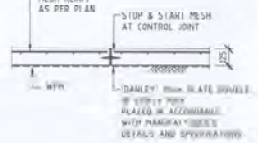
SCJ - SAW CUT  
SLAB CONTROL JOINT

SLAB TO BE CUT AS SOON AS PRACTICAL UPON COMPLETION OF POURING LATER THAN 12 HOURS AFTER COMPLETION

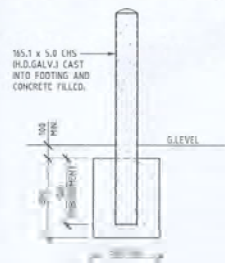
**H** SECTION  
SCALE 1:20



SEALED SAW CUT DETAIL

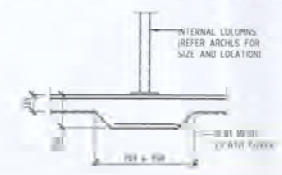


CJ - CONSTRUCTION JOINT



BOLLARD (BOL) DETAIL

CONFIRM LOCATION & EXTENT WITH ARCH'S DWGS.



SLAB THICKENING DETAIL

AT INTERNAL COLUMN LOCATION CONFIRM LOCATION & SIZES WITH ARCH'S DWGS.

s47F

No.	DATE	AMENDMENT	CHECKED
A	16/02/08	ISSUED FOR BUILDING LICENSE	BAL

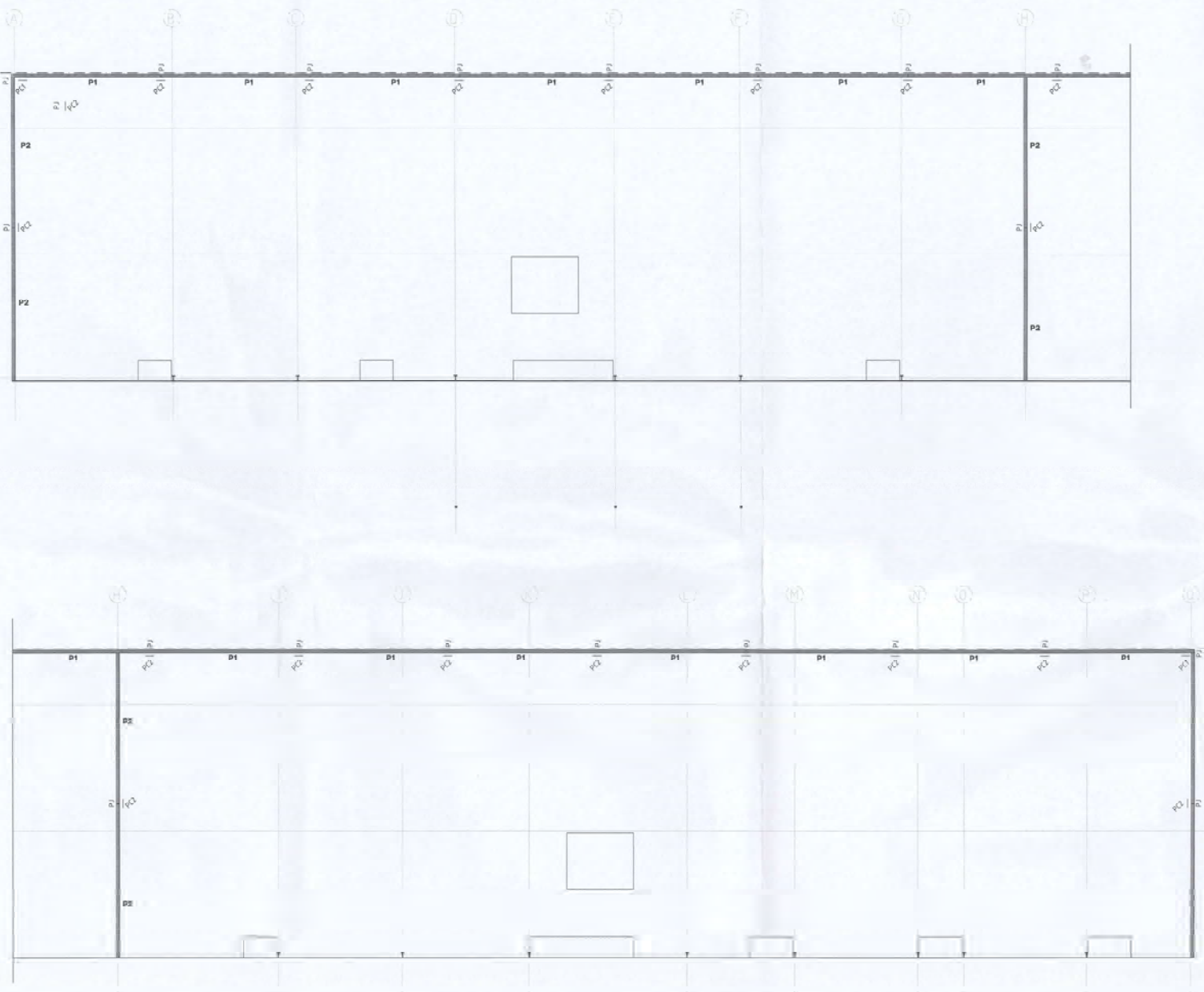
ISSUED FOR BUILDING LICENSE

s47G(1)(a)

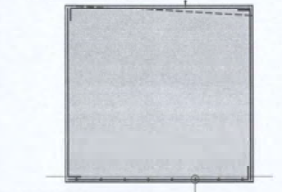
PROPOSED NEW STORAGE BUILDING - BLOCK H  
51 REDCLIFFE ROAD  
REDCLIFFE

GROUND FLOOR LEVEL  
FOOTING DETAILS

NO.	DATE	ISSUED FOR BUILDING LICENSE	16/02/08
SCALE:	AT	1:20	
DATE:	17/02/08	17/02/08	
CAD FILE NO.	500.00	500.02	
DRAWING NO.	S00.02		
REV.	A		

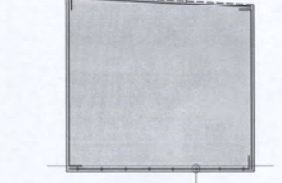


PANEL LAYOUT & DETAILS



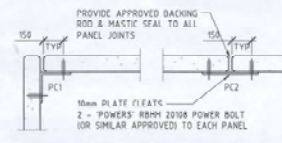
PANEL P1

1-NH PERIMETER BAR CENTRAL IN PANEL LAPPED 450 MIN. AT CORNERS - TYPICAL TO ALL LOCATIONS UNLESS NOTED OTHERWISE



PANEL P2

TYPICAL PANEL ELEVATIONS  
 ALL PANELS TO BE 150 THICK, SL82 MESH CENTRAL (U.N.O) AND TYPICAL PERIMETER REINFORCEMENT AS ABOVE



TYP. PANEL CONNECTION  
 LOCATE MID-HEIGHT TO WAREHOUSE PANELS

s47F

No.	DATE	AMENDMENT	CHECKED
A	18/02/08	ISSUED FOR BUILDING LICENSE	HAL

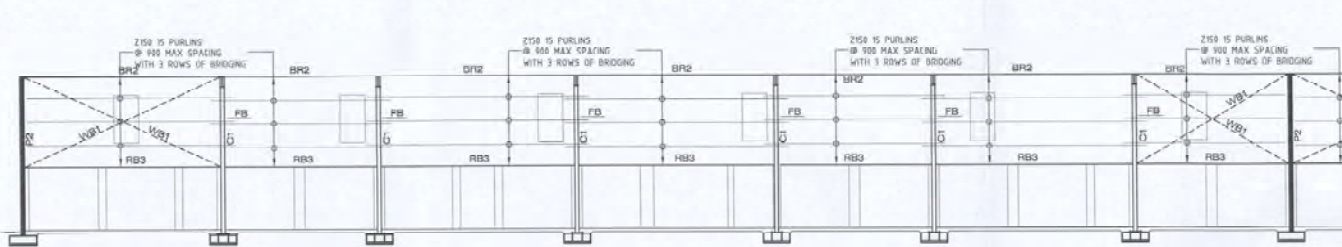
ISSUED FOR BUILDING LICENSE

s47G(1)(a)

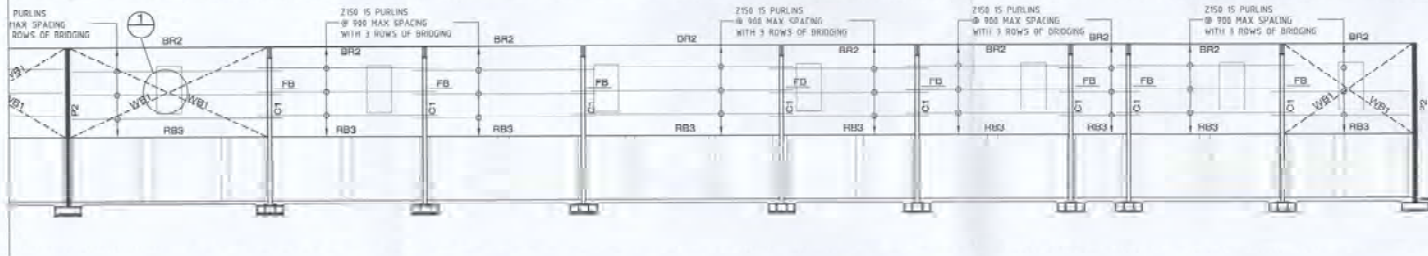
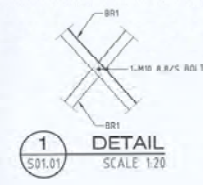
PROPOSED NEW STORAGE BUILDING - BLOCK H  
 51 REDCLIFFE ROAD  
 REDCLIFFE

GROUND FLOOR LEVEL  
 PANEL LAYOUT & DETAILS  
 s47F s47F

DATE	18 FEBRUARY 2008	REV	08-167
SCALE	1:500	NO.	500.03

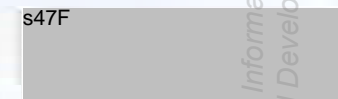


GRID 4 - PART ELEVATION



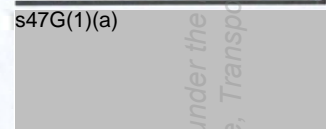
GRID 4 - PART ELEVATION

- BRACING
  - BR2 - 168.3 x 6.0 CHS
  - WB1 - 100 x 100 x 8 EA
- COLUMNS
  - C1 - 250 UB 31 OR 200 UC 44
- ROOF BEAMS
  - RB3 - 104 LB 11 OR 100 RB



NO.	DATE	APPROVAL	CHECKED
A	16/02/08	ISSUED FOR BUILDING LICENSE	BAL

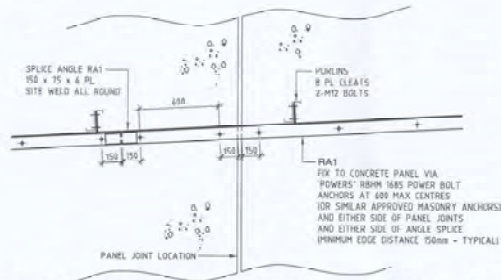
ISSUED FOR BUILDING LICENSE



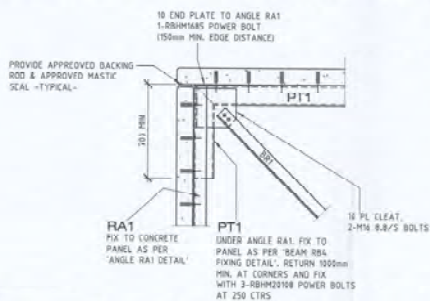
PROPOSED NEW STORAGE BUILDING - BLOCK H 51 REDCLIFFE ROAD REDCLIFFE			
GROUND FLOOR LEVEL			
PANEL ELEVATIONS			
s47F	s47F	08-167	
SCALE: 1:100	DATE: FEBRUARY 2008	DRAWING NO.: S00.04	REV.: A



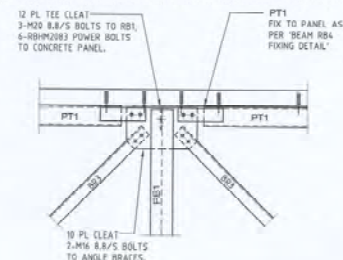




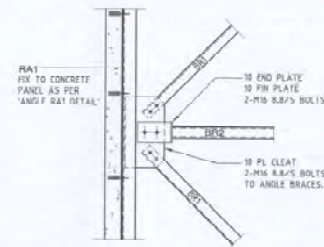
**RAKING ANGLE RA1 DETAIL**



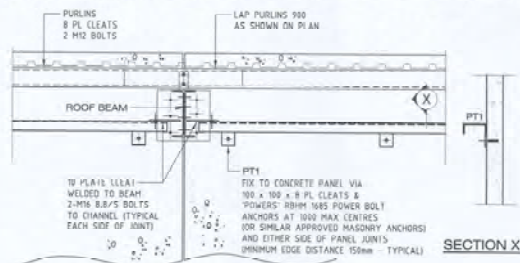
**DETAIL A**  
S01.01



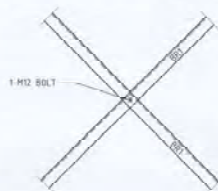
**DETAIL B**  
S01.01



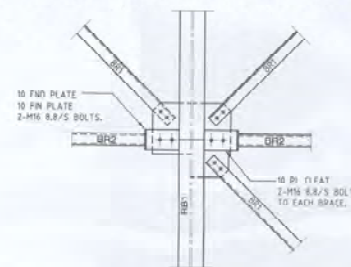
**DETAIL C**  
S01.01



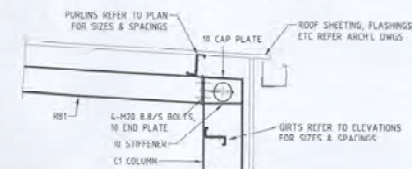
**PANEL TIE PT1 FIXING DETAIL**



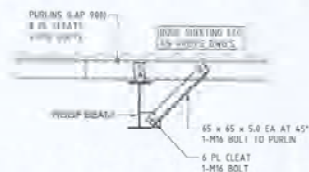
**DETAIL D**  
S01.01



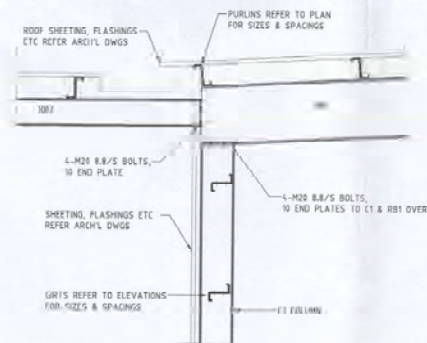
**DETAIL E**  
S01.01



**DETAIL F**  
S00.10 SCALE 1:20



**FLY BRACE FB DETAIL**



**DETAIL G**  
S01.01 SCALE 1:20

**s47F**

NO.	DATE	APPROVER	REMARKS
A	16/02/08	ISSUED FOR BUILDING LICENSE	BAI

**ISSUED FOR BUILDING LICENSE**

**s47G(1)(a)**

PROPOSED NEW STORAGE BUILDING - BLOCK H  
51 REDCLIFFE ROAD  
REDCLIFFE

FIRST FLOOR LEVEL  
ROOF STEEL DETAILS

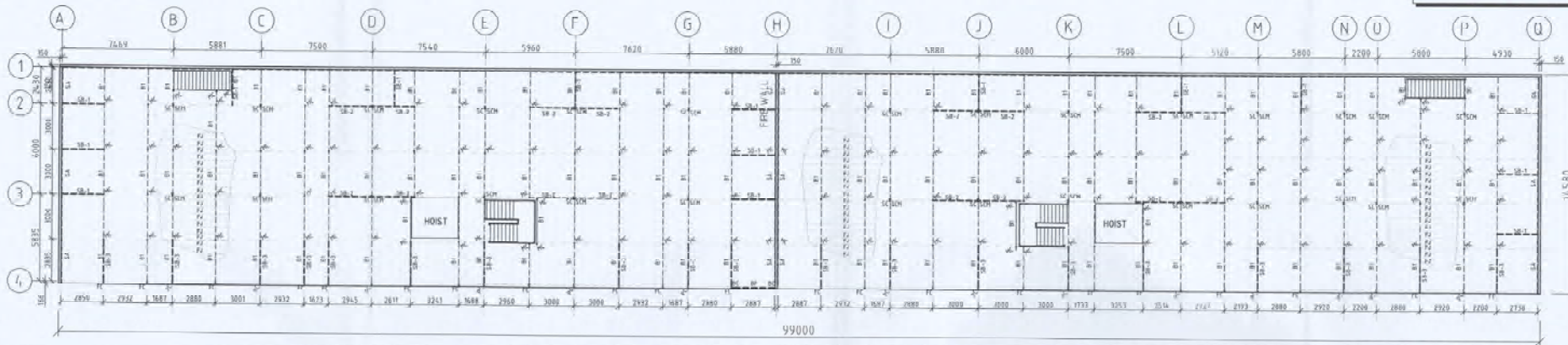
**s47F**      **s47F**

DATE: FEBRUARY 2008      DRAWING No: S01.02

SCALE: 1:20      DATE: FEBRUARY 2008      DRAWING No: S01.02

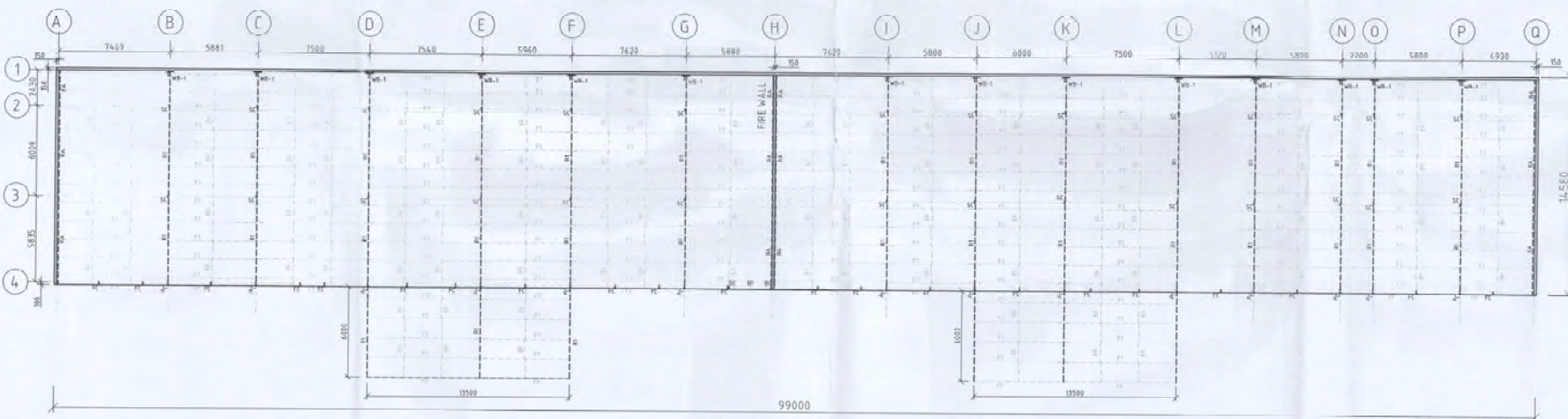
Information Act 1982 by the Department of Information, Communications and the Arts

NOTE: LIVE LOAD ON FLOOR NOT TO EXCEED 5Kpa



**PROPOSED STEEL LAYOUT  
GROUND FLOOR**

Scale 1:150@A1  
Scale 1:300@A3



**PROPOSED STEEL LAYOUT  
FIRST FLOOR**

Scale 1:150@A1  
Scale 1:300@A3

MEMBER SCHEDULE	
PC C200 19 PORTAL COLUMNS	FP C150 19 FASCIA PURLIN
FC C150 19 FASCIA COLUMNS	PURLINS - 2750 15 @1400 MAX LWS
SL L150 19 SUPPORT COLUMNS	LAP 900 OVER SUPPORTS
SCM C150 19 MEZZANINE COLUMNS	& FLYBRACE EVERY SECOND ROW
MC1 75x3 SHS MEZZANINE COLUMNS	BR BRIDGING - 1 ROW (6000 MAX.)
RI C200 19 PORTAL RAFTER	- 2 ROWS (7500 MAX.)
BI 150x50x3.0 RHS BEARER	SA-100x100x6 EA-DURAGAL SHELF ANGLE
FJ 100x50x16 RHS JOISTS AT 450 MAX. CRS	RA-100x100x6 EA-DURAGAL RAKING ANGLE
BC 75x5 SHS COLUMNS FOR BRACE FRAME	C1 75x5 SHS HOT DIP GALV COLUMNS
BF 75x5 SHS BRACE FRAME	WB-1 "T"-BRACKET-RAFTER TO WALL
SB-1 75x75x5.0 SHS SUPPORT BRACE	
SB-2 75x75x5.0 SHS SUPPORT BRACE	
SB-3 75x75x5.0 SHS SUPPORT BRACE	

**ISSUED FOR B.A.**

Rev	Date	By	Description
A	10/11/07	s47F	ISSUED FOR BA

CLIENT	s47G(1)(a)
51 REDCLIFFE ROAD	
REDCLIFFE	
PERTH - WA	

PROJECT	PROPOSED NEW TWO LEVELS STORAGE BUILDING-H
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TITLE	PROPOSED STEEL LAYOUT GROUND & FIRST FLOOR
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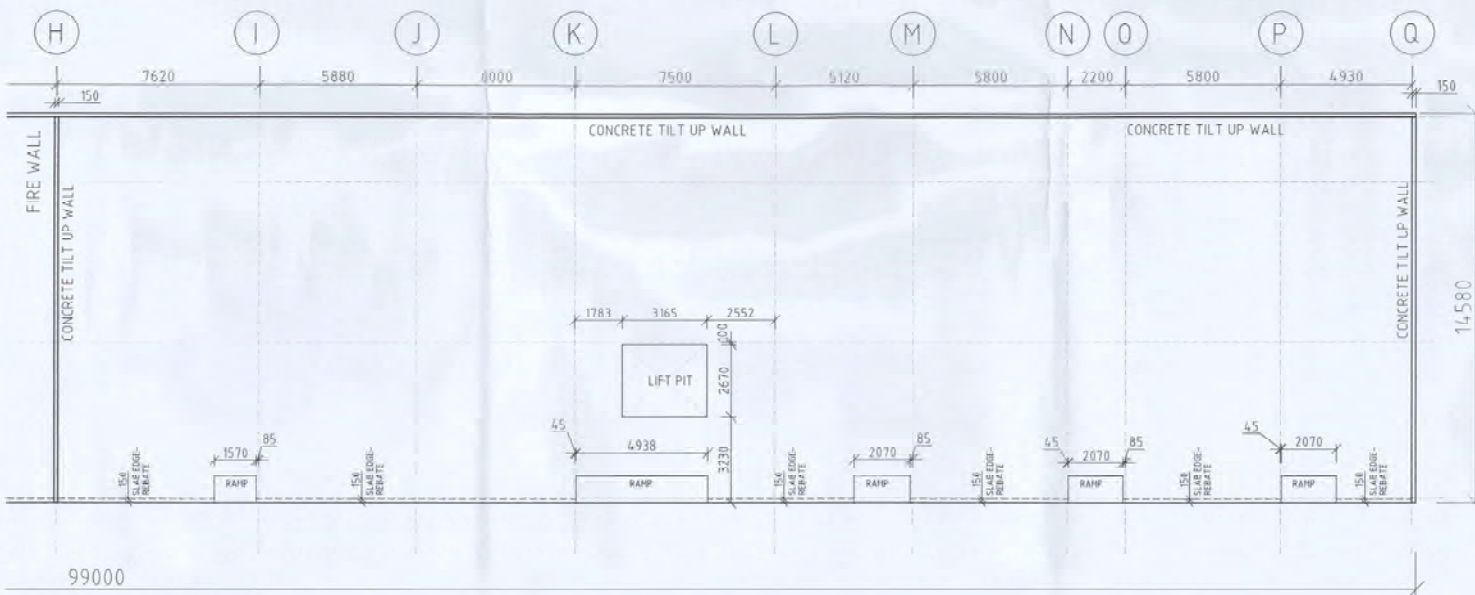
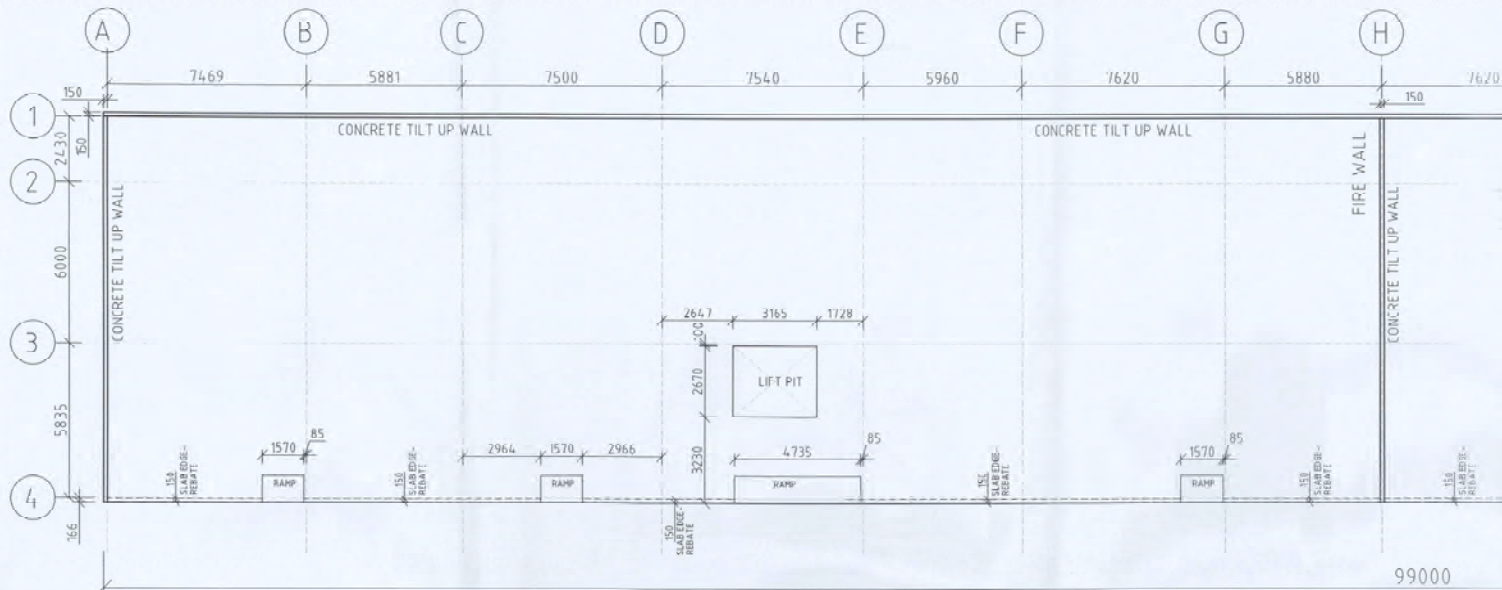
s47G(1)(a)

DRAWN	s47F	DATE	05/11/07
CHECKED			
APPD			

JOB NO.	...	QUOTE No.	SCALE	1:150@A1
DRAWING NO.	WA 02-07S01			

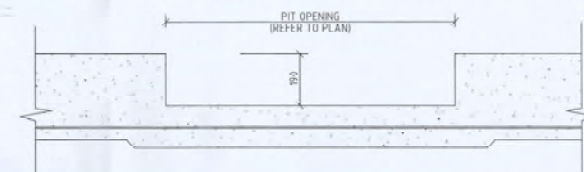
Released under the Freedom of Information Act 1982 by the Department of Infrastructure, Transport, Regional Development, Communications and the Arts

NOTE: LIVE LOAD ON FLOOR NOT TO EXCEED 5Kpa.

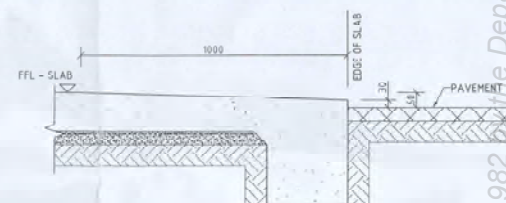


**PROPOSED SLAB PLAN**

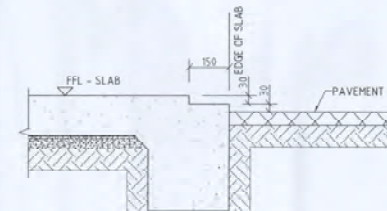
Scale 1:100@A1  
Scale 1:200@A3



**HOIST PIT**  
SECTION  
SCALE 1:10 @ A1  
SCALE 1:20 @ A3



**RAMP**  
SCALE 1:10 @ A1  
SCALE 1:20 @ A3



**SLAB EDGE REBATE**  
SCALE 1:10 @ A1  
SCALE 1:20 @ A3

**ISSUED FOR B.A.**

Rev	Date	By	Description
A	10/11/07	s47F	ISSUED FOR B.A.

CLIENT	s47G(1)(a)
	51 REDCLIFFE ROAD REDCLIFFE PERTH - SA

PROJECT	PROPOSED NEW TWO LEVELS STORAGE BUILDING - 11
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TITLE	PROPOSED SLAB PLAN
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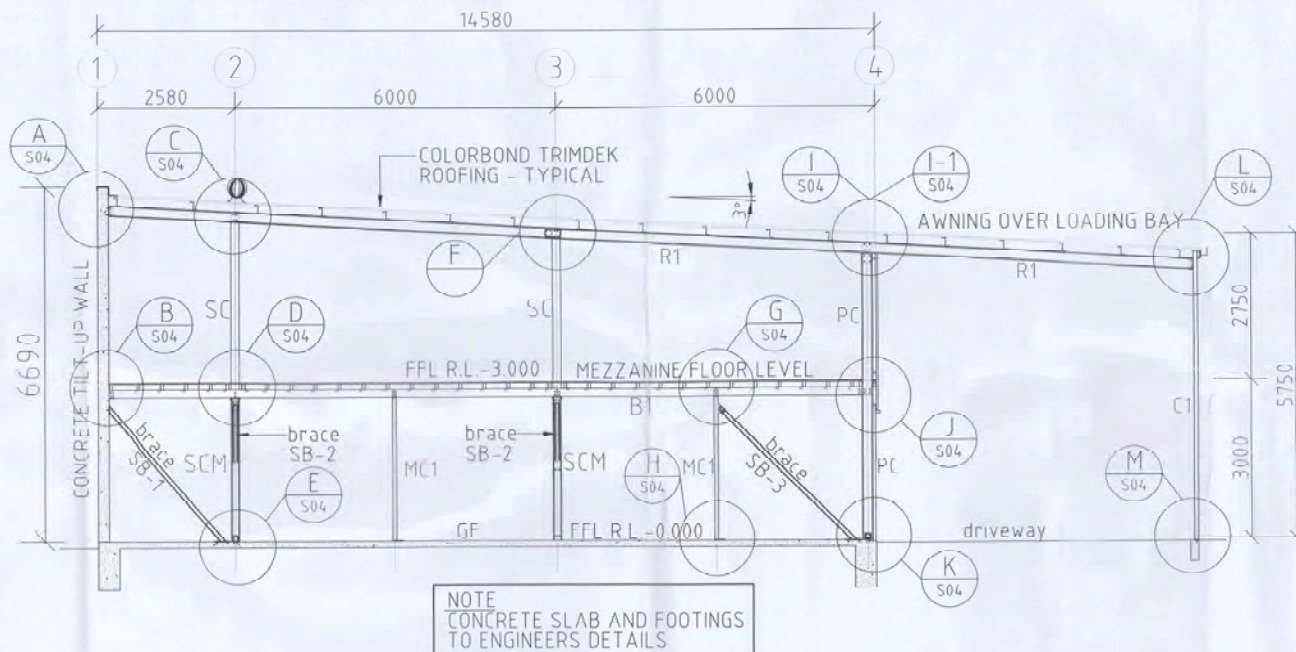
s47G(1)(a)

DRAWN	s47F	DATE	08/11/07
CHECKED			
APP'D			

JOB No.	...	QUOTE No.	1:100@A1	SCALE	
DRAWING NO.	WA 02-07S02				
REV	A				

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NOTE: LIVE LOAD ON FLOOR NOT TO EXCEED 5Kpa.



TYPICAL BUILDING SECTION

Scale 1:50@A1  
Scale 1:100@A3

**ISSUED FOR B.A.**

Rev	Date	By	Description
A	01/10/07	S47F	ISSUED FOR B.A.

CLIENT	s47G(1)(a)
PROJECT	PROPOSED NEW TWO LEVELS STORAGE BUILDING-H
LOCATION	ST REDCLIFFE ROAD REDCLIFFE PERTH-WA

TITLE	TYPICAL BUILDING SECTION
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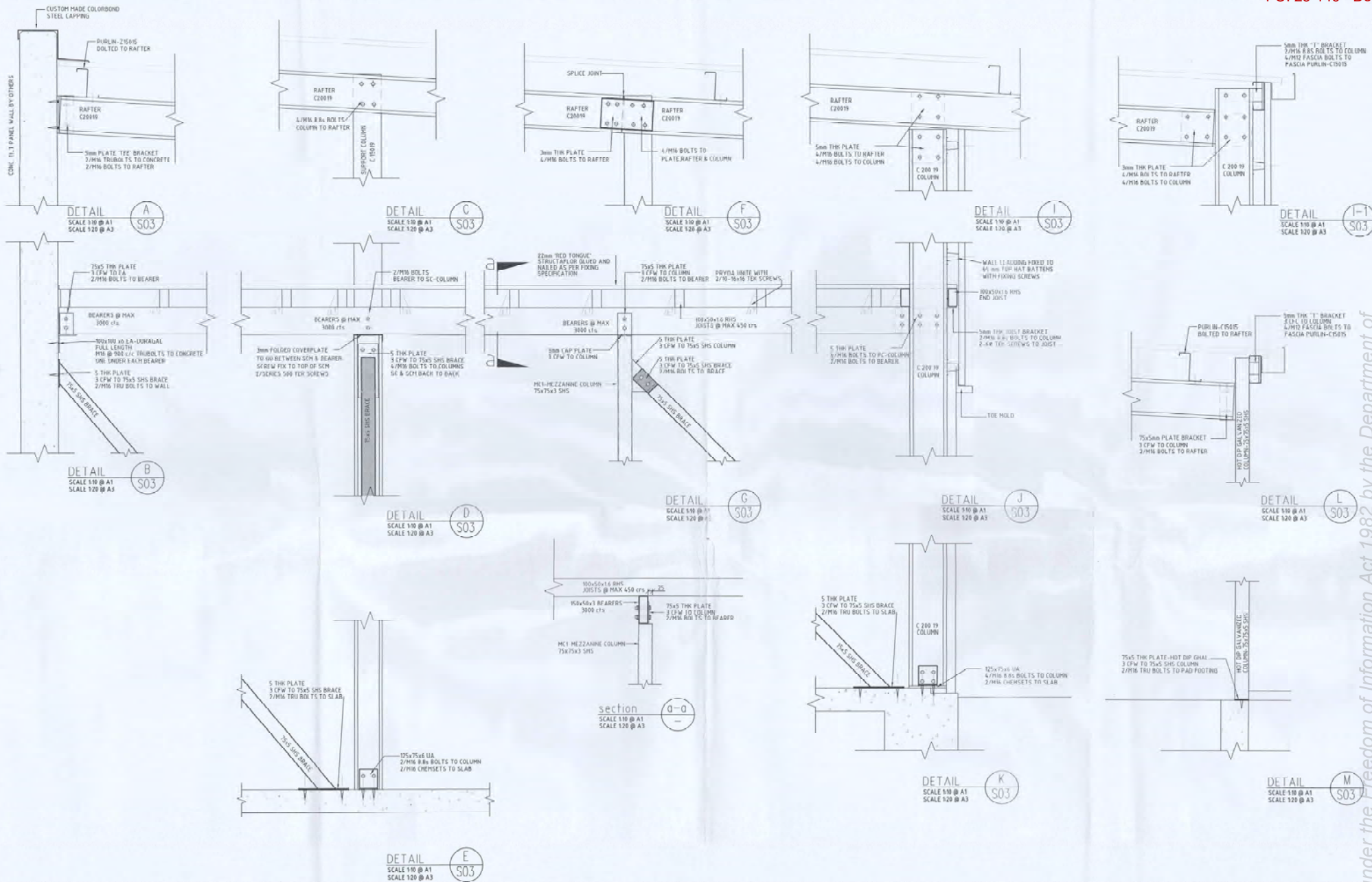
NAME	s47F
DATE	01/10/07

s47G(1)(a)

DRAWN	s47F	DATE	01/10/07
CHECKED			
APP'D			

JOB NO.	...
DRAWING NO.	WA 02-07/S03

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**TYPICAL BUILDING DETAILS**

Scale 1:10@A1  
Scale 1:20@A3

**ISSUED FOR B.A.**

Rev	Date	By	Description
1	05/11/07	s47F	ISSUED FOR B.A.

CLIENT	s47G(1)(a)
	51 REDCLIFFE ROAD
	NEEDWILE
	PERTH - WA

PROJECT	PROPOSED NEW TWO LEVELS STORAGE BUILDING-M
---------	--

TITLE	TYPICAL BUILDING DETAILS
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PROJECT NO.	s47G(1)(a)
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DRAWN	s47F	DATE	05/11/07
CHECKED			
APP'D			

JOB No.	...	QUOTE No.	...	SCALE	...
DRAWING No.	WA 02-07/S04	REV	A		

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# Australian Government

## Department of Infrastructure, Transport, Regional Development and Local Government

### BUILDING PERMIT

Airports Act 1996

Airports (Building Control) Regulations

Regulation 2.11

**File no. P2007/0982**

<b>Issued to:</b>	s47G(1)(a)		
<b>Postal Address</b>	s47G(1)(a)		
	s47G(1)(a)	<b>Postcode</b>	s47G(1)(a)
<b>Contact Person</b>	s47F		
<b>Telephone</b>	s47G(1)(a)	<b>Fax.</b>	
<b>Lessee Details</b>			
<b>Name</b>	s47G(1)(a)		
<b>Postal Address</b>	s47G(1)(a)		
	s47G(1)(a)	<b>Postcode</b>	s47G(1)(a)
<b>Telephone</b>	s47G(1)(a)	<b>Fax.</b>	

**Location of Works** 51 Redcliffe Road, Perth Airport.

<b>Building Contractor</b>			
<b>Name</b>	s47G(1)(a)		
<b>Address</b>	s47G(1)(a)		
	s47G(1)(a)	<b>Postcode</b>	s47G(1)(a)
<b>Registration No.</b>	s47G(1)(a)		
<b>Telephone</b>		<b>Fax.</b>	
<b>Contact Person</b>	s47F		
<b>Telephone</b>	s47G(1)(a)	<b>Fax.</b>	-

1 of 4

**Postal Address**  
s47G(1)(a)

**Telephone Contact(s)**

s47G(1)(a)

mobile

s47G(1)(a)

**Facsimile Number**

s47G(1)(a)

email

s47G(1)(a)

**BUILDING PERMIT**

File no. P2007/0982

**Details of Building Experts to be engaged in the building activity:**

	Name	Cat./ Class	Reg. No.
1.	s47G(1)(a)	Architect/Designer	-
2.		Eng / Structural	-
3.		Eng / Hydraulic	-
4.	-	Eng/Mechanical	-
5.	s47G(1)(a)	Builder	s47G(1)(a)

**Nature of Building Activity**

Description of Building Activity	Storage Facility
Stage of building work permitted	All
Cost of building work	\$1,500,000
Total floor area of new building work	2,886m <sup>2</sup>
<b>Value of Fee for Building Activity</b>	<b>\$4,000</b>

**Building Classification**

Part of Building	Storage Facility
BCA Classification	7b

**Inspection Requirements**

The mandatory inspection stages are:

- On commencement.
- Prior to pouring of any concrete.
- During erection of structural steel.
- During cladding.
- On completion

**Occupation or Use of Building**

A Certificate of Compliance is required to be issued by the Airport Building Controller prior to the occupation or use of this building or part.

**Approval Duration**

This approval has effect until 17 March 2010

**This permit incorporates the drawings, specifications and documents listed below:**

Architectural	WA 02-07/A01 Rev B, WA 02-07/A02 Rev B, WA 02-07/A03 Rev B.
Structural	S00.01 Rev A, S00.02 Rev A, S00.03 Rev A, S00.04 Rev A, S01.01 Rev A, S01.02 Rev A, WA 02-07S01 Rev A, WA 02-07S02 Rev A, WA 02-07S03 Rev A, WA 02-07S04 Rev A.
Hydraulic	WA 02-07/A01 Rev B, WA 02-07/A02 Rev B, WA 02-07/A03 Rev B.

2 of 4

**BUILDING PERMIT**

File no. P2007/0982

In issuing this permit, reference has been made to the following documents:

- -

**This building permit is subject to the following 33 conditions:**

1. On completion of the building, the Structural Engineer is to certify adequacy and compliance with design.
2. Fire hydrant system to comply with AS 2419. Testing to prove compliance with Australian Standard will be required on completion of the works and prior to occupation.
3. The fire hose reel assembly must comply with AS 2441. Provide certification of compliance from a suitably qualified person prior to occupation.
4. Electrical work to comply with AS 3000 and Western Power's requirements and rules.
5. Copies of Electrical commencement and completion notices are to be submitted to the Airport Building Controller.
6. Plumbing work to be carried out by a person who is the holder of a current plumber's licence or the holder of a current tradeperson's licence working under the general direction and control of the holder of a plumber's licence, issued by the Plumber's Licensing Board.
7. Provide access for people with disabilities in accordance with BCA Part D3.
8. Fire wall separating storage building must comply with BCA Table 5.
9. Provide handrails complying with AS 1428.1 Clause 9 to both sides of one stairway in each separated storage area.
10. Balustrades must comply with BCA D2.16.
11. In accordance with BCA D2.21, ensure the exit doors are readily openable without a key from the side that faces a person seeking egress, by a single hand downward action or pushing action on a single device which is located between 900 mm and 1.2 m from the floor.
12. In accordance with BCA D3.8, provide tactile ground surface indicators to warn people with vision impairment that they are approaching stairs.
13. Emergency lighting and exit signage must be provided in accordance with BCA E4.2 and E4.5. Design and operation of the emergency lighting and exit signs must comply with AS/NZS 2293.1. Provide certification of compliance from a suitably qualified person prior to occupation.
14. Power, telecommunication, gas and fuel services must be located, identified and marked by WAC or WAC's authorised person prior to any works. The contractor shall locate, identify, mark and protect all other services prior to any works. For the latest services plans contact the WAC Design Office Manager on 9478 8489. For field assistance contact s47F [REDACTED]. Any damage to services to be reported to WAC Project Facilitator immediately s47F [REDACTED]. All damage to be repaired at the contractor's expense.
15. The Proponent and Contractor shall indemnify and at all times keep indemnified for the duration of the works, the Westralia Airports Corporation, its officers, servants and agents against all actions, suits, proceedings, claims and demands by the Proponent/contractor or any other person, firm or corporation whatsoever for personal injuries, property damage or nuisance together with costs, charges and expenses of defending or settling the same caused by or arising out of any act, or omission on the part of the principal contractor, its agents, servants, employees, workmen and others authorised by it while carrying out these works.
16. The issue of this Permit does not relieve the Proponent or his Contractor of their responsibilities with regard to due observance of the Airports Act 1996 and regulations or by-laws of any appropriate federal or state instrumentality or authority having jurisdiction in matters appertaining to this project.
17. The contractor shall ensure that all necessary approvals and permits are obtained before commencing work on site.
18. The proponent is responsible for the transmission of all conditions listed in this Permit to all contractors and subcontractors. The works must be conducted inclusive of the conditions listed in this Permit.
19. The contractor shall identify all hazards associated with the works and ensure that adequate precautions are taken to protect the safety of both the public and others working in the area.

3 of 4



**BUILDING PERMIT**

File no. P2007/0982

**Conditions continued:**

20. The contractor shall ensure all works comply with the requirements of the Occupational Safety and Health (OSH) Act (WA) 1984 and Occupational Safety and Health (OSH) Regulations (WA) 1996, related Codes of Practice, Guidance Notes and Australian Standards.
21. The proponent should be aware that the conditions of this Permit are likely to be audited by WAC Officers during the construction of this project. It is a condition of approval that the proponent and their subcontractors make themselves available for these audits.
22. Traffic Management signs shall be displayed in accordance with AS 1742.3 for the duration of the works. The contractor will provide the WAC Project Manager with a Traffic Management Plan, which shall be approved by WAC, prior to the commencement of works.
23. The contractor must ensure that the work site is maintained in a clean, tidy and secure condition at all times, with loose material secured, all food scraps and other domestic waste products correctly managed. All spoil and waste materials to be carted off site.
24. Under no circumstances shall "non traceable" services (eg. water, sewer, fibre and ducting) be backfilled without being recorded as survey data or by field measurement onto "as constructed" drawings and forwarded to WAC.
25. As constructed detail resulting from field measurement and survey shall be provided to WAC. This detail shall include all above and below ground features ie. Buildings and associated features, canopies, pavements, pits, fences, gates, gardens and all underground services. Reduced levels of pit tops and invert levels of all pipes are required.
26. Any environmental incident - including, but not limited to, breaches of Permit conditions, pollution events, spills of hazardous or potentially hazardous material, destruction of vegetation, etc - shall be reported to the WAC Project Manager with immediate effect.
27. The discovery or suspected discovery of any aboriginal artefact at the site shall be reported to the WAC Project Manager with immediate effect. Any works impacting on the suspected site shall cease immediately.
28. In undertaking works, contractors are required to meet the requirements of the Airports (Environmental Protection) Regulations 1997.
29. A Construction Environment Management Plan is to be provided for review and approval by the WAC Environment Manager prior to works commencing.
30. Concrete tilt wall on eastern site boundary to be painted on side facing the McIntosh site
31. Concrete tilt walls on northern and southern ends of the building to have some detail included. That is, lines etc to break up the large face.
32. The roof on the canopy on the western side of the building to be curved to match existing curved roofs on other buildings on this site.
33. Colours for external surfaces of the building to be provided for consideration and approval by WAC.

**Reason for Conditions**

Compliance with the Building Code of Australia  
 Compliance with the Airports (Building Control) Regulations  
 Compliance with the Airports Act  
 Preservation of effective airport management

**Airport Building Controller**

s22(1)(a)(ii)

Signature: ...  .....

Date of issue: 17 March 2008

File No. P2007/0982

Note 1: This form and the above signature has been made for and on behalf of the Commonwealth of Australia. The Airport Building Controller is a statutory office holder appointed under the Airports (Building Control) Regulations.

Note 2: Under regulation 6.01 the applicant for the approval may make application to the Administrative Appeals Tribunal to have the decision of the Airport Building Controller to impose a condition on a building approval reviewed.

4 of 4



**Australian Government**

**Department of Infrastructure, Transport,  
Regional Development and Local Government**

**BUILDING PERMIT**

Airports Act 1996

Airports (Building Control) Regulations

Regulation 2.11

**File no. P2007/0982**

<b>Issued to:</b>	s47G(1)(a)		
<b>Postal Address</b>	s47G(1)(a)		
	s47G(1)(a)	<b>Postcode</b>	s47G(1)(a)
<b>Contact Person</b>	s47F		
<b>Telephone</b>	s47G(1)(a)	<b>Fax.</b>	
<b>Lessee Details</b>			
<b>Name</b>	s47G(1)(a)		
<b>Postal Address</b>	s47G(1)(a)		
	s47G(1)(a)	<b>Postcode</b>	s47G(1)(a)
<b>Telephone</b>	s47G(1)(a)	<b>Fax.</b>	

**Location of Works** 51 Redcliffe Road, Perth Airport.

<b>Building Contractor</b>			
<b>Name</b>	s47G(1)(a)		
<b>Address</b>	s47G(1)(a)		
	s47G(1)(a)	<b>Postcode</b>	s47G(1)(a)
<b>Registration No.</b>	s47G(1)(a)		
<b>Telephone</b>		<b>Fax.</b>	
<b>Contact Person</b>	s47F		
<b>Telephone</b>	s47G(1)(a)	<b>Fax.</b>	-

1 of 4

**Postal Address**  
s47G(1)(a)

**Telephone Contact(s)**  
s47G(1)(a)  
mobile  
s47G(1)(a)

**Facsimile Number**  
s47G(1)(a)  
email  
s47G(1)(a)

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073

**BUILDING PERMIT**

File no. P2007/0982

**Details of Building Experts to be engaged in the building activity:**

	Name	Cat./ Class	Reg. No.
1.	s47G(1)(a)	Architect/Designer	-
2.		Eng / Structural	-
3.		Eng / Hydraulic	-
4.	-	Eng/Mechanical	-
5.	s47G(1)(a)	Builder	s47G(1)(a)

**Nature of Building Activity**

Description of Building Activity	Storage Facility
Stage of building work permitted	All
Cost of building work	\$1,500,000
Total floor area of new building work	2,886m <sup>2</sup>

**Value of Fee for Building Activity** \$4,000**Building Classification**

Part of Building	Storage Facility
BCA Classification	7b

**Inspection Requirements**

The mandatory inspection stages are:

- On commencement.
- Prior to pouring of any concrete.
- During erection of structural steel.
- During cladding.
- On completion

**Occupation or Use of Building**

A Certificate of Compliance is required to be issued by the Airport Building Controller prior to the occupation or use of this building or part.

**Approval Duration**This approval has effect until 6<sup>th</sup> June 2010**This permit incorporates the drawings, specifications and documents listed below:**

Architectural	WA 02-07/A01 Rev B, WA 02-07/A02 Rev B, WA 02-07/A03 Rev B.
Structural	S00.01 Rev A, S00.02 Rev A, S00.03 Rev A, S00.04 Rev A, S01.01 Rev A, S01.02 Rev A, WA 02-07S01 Rev A, WA 02-07S02 Rev A, WA 02-07S03 Rev A, WA 02-07S04 Rev A.
Hydraulic	WA 02-07/A01 Rev B, WA 02-07/A02 Rev B, WA 02-07/A03 Rev B.

2 of 4

072

**BUILDING PERMIT**

File no. P2007/0982

**In issuing this permit, reference has been made to the following documents:**

• -

**This building permit is subject to the following 33 conditions:**

1. On completion of the building, the Structural Engineer is to certify adequacy and compliance with design.
2. Fire hydrant system to comply with AS 2419. Testing to prove compliance with Australian Standard will be required on completion of the works and prior to occupation.
3. The fire hose reel assembly must comply with AS 2441. Provide certification of compliance from a suitably qualified person prior to occupation.
4. Electrical work to comply with AS 3000 and Western Power's requirements and rules.
5. Copies of Electrical commencement and completion notices are to be submitted to the Airport Building Controller.
6. Plumbing work to be carried out by a person who is the holder of a current plumber's licence or the holder of a current tradeperson's licence working under the general direction and control of the holder of a plumber's licence, issued by the Plumber's Licensing Board.
7. Provide access for people with disabilities in accordance with BCA Part D3.
8. Fire wall separating storage building must comply with BCA Table 5.
9. Provide handrails complying with AS 1428.1 Clause 9 to both sides of one stairway in each separated storage area.
10. Balustrades must comply with BCA D2.16.
11. In accordance with BCA D2.21, ensure the exit doors are readily openable without a key from the side that faces a person seeking egress, by a single hand downward action or pushing action on a single device which is located between 900 mm and 1.2 m from the floor.
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13. Emergency lighting and exit signage must be provided in accordance with BCA E4.2 and E4.5. Design and operation of the emergency lighting and exit signs must comply with AS/NZS 2293.1. Provide certification of compliance from a suitably qualified person prior to occupation.
14. Power, telecommunication, gas and fuel services must be located, identified and marked by WAC or WAC's authorised person prior to any works. The contractor shall locate, identify, mark and protect all other services prior to any works. For the latest services plans contact the WAC Design Office Manager on 9478 8489. For field assistance contact s47F [REDACTED]. Any damage to services to be reported to WAC Project Facilitator immediately s47F [REDACTED]. All damage to be repaired at the contractor's expense.
15. The Proponent and Contractor shall indemnify and at all times keep indemnified for the duration of the works, the Westralia Airports Corporation, its officers, servants and agents against all actions, suits, proceedings, claims and demands by the Proponent/contractor or any other person, firm or corporation whatsoever for personal injuries, property damage or nuisance together with costs, charges and expenses of defending or settling the same caused by or arising out of any act, or omission on the part of the principal contractor, its agents, servants, employees, workmen and others authorised by it while carrying out these works.
16. The issue of this Permit does not relieve the Proponent or his Contractor of their responsibilities with regard to due observance of the Airports Act 1996 and regulations or by-laws of any appropriate federal or state instrumentality or authority having jurisdiction in matters appertaining to this project.
17. The contractor shall ensure that all necessary approvals and permits are obtained before commencing work on site.
18. The proponent is responsible for the transmission of all conditions listed in this Permit to all contractors and subcontractors. The works must be conducted inclusive of the conditions listed in this Permit.
19. The contractor shall identify all hazards associated with the works and ensure that adequate precautions are taken to protect the safety of both the public and others working in the area.

125

\*

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**BUILDING PERMIT**

File no. P2007/0982

**Conditions continued:**

20. The contractor shall ensure all works comply with the requirements of the Occupational Safety and Health (OSH) Act (WA) 1984 and Occupational Safety and Health (OSH) Regulations (WA) 1996, related Codes of Practice, Guidance Notes and Australian Standards.
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22. Traffic Management signs shall be displayed in accordance with AS 1742.3 for the duration of the works. The contractor will provide the WAC Project Manager with a Traffic Management Plan, which shall be approved by WAC, prior to the commencement of works.
23. The contractor must ensure that the work site is maintained in a clean, tidy and secure condition at all times, with loose material secured, all food scraps and other domestic waste products correctly managed. All spoil and waste materials to be carted off site.
24. Under no circumstances shall "non traceable" services (eg. water, sewer, fibre and ducting) be backfilled without being recorded as survey data or by field measurement onto "as constructed" drawings and forwarded to WAC.
25. As constructed detail resulting from field measurement and survey shall be provided to WAC. This detail shall include all above and below ground features ie. Buildings and associated features, canopies, pavements, pits, fences, gates, gardens and all underground services. Reduced levels of pit tops and invert levels of all pipes are required.
26. Any environmental incident - including, but not limited to, breaches of Permit conditions, pollution events, spills of hazardous or potentially hazardous material, destruction of vegetation, etc - shall be reported to the WAC Project Manager with immediate effect.
27. The discovery or suspected discovery of any aboriginal artefact at the site shall be reported to the WAC Project Manager with immediate effect. Any works impacting on the suspected site shall cease immediately.
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31. Concrete tilt walls on northern and southern ends of the building to have some detail included. That is, lines etc to break up the large face.
32. The roof on the canopy on the western side of the building to be curved to match existing curved roofs on other buildings on this site.
33. Colours for external surfaces of the building to be provided for consideration and approval by WAC.

**Reason for Conditions**

Compliance with the Building Code of Australia  
 Compliance with the Airports (Building Control) Regulations  
 Compliance with the Airports Act  
 Preservation of effective airport management

**Airport Building Control**

Signature: .....

Date of issue: 6<sup>th</sup> June 2008

File No. P2007/0982

Note 1: This form and the above signature has been made for and on behalf of the Commonwealth of Australia. The Airport Building Controller is a statutory office holder appointed under the Airports (Building Control) Regulations.

Note 2: Under regulation 6.01 the applicant for the approval may make application to the Administrative Appeals Tribunal to have the decision of the Airport Building Controller to impose a condition on a building approval reviewed.

4 of 4



## Australian Government

### Department of Infrastructure, Transport, Regional Development and Local Government

091

## CERTIFICATE OF COMPLIANCE FOR OCCUPANCY

Airports Act 1996

Airports (Building Control) Regulations

Regulation 3.04

**File number** P2007/0982

<b>Issued to:</b>			
<b>Name</b>	s47G(1)(a)		
<b>Postal Address</b>	s47G(1)(a)		
	s47G(1)(a)	<b>Postcode</b>	s47G(1)(a)

**Location of Building:** 51 Redcliffe Road, Perth Airport

**Description of Works:** s47G(1)(a) - Two Storey Storage Facility

### Building Details

Part of building	Use	Class of Occupancy
Ground Floor	Storage	7b
First Floor	Storage	7b

### Conditions:

1. The building must not be used for a purpose that is inconsistent with the classification of the building under the Building Code of Australia.(as amended)
2. The building must be maintained in a condition that is consistent with the classification.

### Airport Building Controller:

In accordance with Regulation 3.08, the Airport Building Controller hereby states that it is satisfied in respect of the matters mentioned in sub-regulation 3.04(3) and that the building activity as completed generally complies with the relevant Australian Standards subject to the following non-compliances permitted.

s22(1)(a)(ii)

**Signed:** ..... **Date of issue:** 11<sup>th</sup> August 2009  
 Airport Building Controller

**Note** - A Certificate of Compliance is evidence that the building to which it applies may be occupied, but it is not evidence that the Airport Building Controller has authorised the building to be used for a particular purpose.

s47F  


TO: PRINCIPAL BUILDING SURVEYOR

**STRUCTURAL CERTIFICATE**

PROJECT: Storage Units

TYPE OF BUILDING: Steel Storage units with Concrete end walls

ADDRESS OF BUILDING: 51 Redcliffe Road Redcliffe

DRAWING NUMBERS: S01 and S02

This certificate is issued to certify that the building herein addressed will be structurally sound when constructed in compliance with the approved structural drawings. The design complies with the requirements of the Building Code of Australia with reference to potential collapse of tilt panel walls affected by fire (Clause C1.11).

I certify that I am a Practicing Structural Engineer as the term is defined in Part A1 (Professional Engineers) of the Building code of Australia.

SIGNATURE:

s47F  
QUALIFICATIONS &  
AFFILIATIONS:BSc Eng. MIE (Aust.) CP Eng.

DATE:

31 July 2007

E7 AUG 2007